

STATE HISTORIC PRESERVATION OFFICE (SHPO) QUESTIONS & RESPONSES

Fort Apache Home of Harmony Project

March 13, 2024

This Addendum includes Architect's responses to SHPO questions pursuant to Historic Tax Credit (HTC) grant award. These questions have minor effect on the drawings and were not included in during the bidding process to avoid conflict and/or confusion with addendums that directly related to bidding/pricing. Some of these questions necessitated specific drawing revisions, which were issued with the following narrative responses. These questions and answers, along with revised sheets, are being memorialized as ADDENDUM #9, and affected sheets / Specification Pages are included in the Construction Document Issuance hereafter. While it is not anticipated that these changes have cost implications, the Contractor shall alert the Architect and Owner in the event they do.

SHPO Question/Comment 1:

Where removal boundaries are known, please show as dashed lines on drawings. Some demo related keyed notes are generalized but NPS reviewers will want to know extents, graphically.

Response Per Architect:

Additional dashed line boundaries have been added and more-specific keynotes for removal extents to the demolition floor plans.

SHPO Question/Comment 2:

Delete references to "industrial" finish/approach where it may appear in drawings or application. Minimalist is more accurate; this was a dormitory not a factory. "Institutional" would also be acceptable.

Response Per Architect:

"Industrial" has been replaced with "Minimalist" in the finish scope legend (sheets A3.01, A3.02, A3.03).

SHPO Question/Comment 3:

Leaving interior finishes in a damaged condition is never a recommended treatment.

Response Per Architect:

Additional language has been provided in the finish scope legend clarifying all holes patched and wire lathe covered.

SHPO Question/Comment 4:

Regarding the patching at unused door openings, is there any way we can show they were there?

Response Per Architect:

1.5 inch reveal with keynote callout added to plans and sections.

SHPO Question/Comment 5:

There are a variety of HVAC treatments throughout the building (exposed vs soffited vs enclosed) that are based on future programming of the spaces. NPS will be more concerned about historic compatibility than a programming match. I was looking at the photos and saw exposed plumbing/electrical but nothing caught my eye as far as HVAC. Were radiators or ductwork removed prior to the photos?

Response Per Architect:

There were radiators previously, as evidenced by the holes in the concrete floor below window sills, but none remain.

SHPO Question/Comment 6:

On Sheet A3.01, does the new handrail span over the window of Suite N Rm 116?

Response Per Architect:

No.

SHPO Question/Comment 7:

On Sheet A6.01, why is drywall spanning windows in South Assembly Hall?

Response Per Architect:

The enclosing of the window into the new lobby at the adjacent new stair keeps the window on the exterior but infilled behind with black-painted wall board. Additional notes to plans and sections provided for further clarification of design intent.

SHPO Question/Comment 8:

On Sheet A7.01, is attic equipment in front of window?

Response Per Architect:

The two existing half-round louvered opening in the gable ends to be retained and utilized for mechanical ventilation. Additional keynote added to this building section.

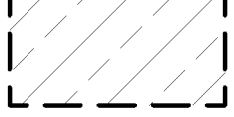
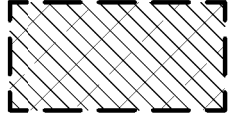

SHPO Question/Comment 9:

On the A10 Sheets, why the difference between F1 and F2?

Response Per Architect:

One is fire rated. Clarifying language added.

FLOOR DEMOLITION LEGEND

-  FULLY DEMOLISH FLOOR
-  DEMOLISH FLOOR DOWN TO TOP OF STRUCTURE
-  DEMOLISH FLOOR DOWN TO TOP OF STL. JOISTS.
G.C. OPTION: SALVAGE/MODIFY K-JOISTS OR REPLACE WITH NEW STEEL BEAM JOISTS - SEE STRUCTURAL.

KEYNOTES

- 201 REMOVE WALL OR PORTION THEREOF
- 202 EXISTING DOOR OR WINDOW TO BE REMOVED, OPENING TO REMAIN
- 203 LOCATION OF PARTIAL WALL REMOVAL FOR NEW DOORWAY - SEE NOTATION AND DIMENSION PLANS, STRUCT. DRAWINGS FOR SHORING, LINTEL, ETC.
- 204 REMOVE STEPS
- 206 REMOVE STAIR, LANDINGS AND ASSOCIATED ELEMENTS, SALVAGE ELEMENTS PER NOTE 221
- 208 EXISTING DOOR/DOORWAY TO BE REMOVED - SEE DIMENSION PLANS FOR INFL. DIRECTION
- 209 REMOVE EXISTING PLUMBING THROUGHOUT - TYPICAL
- 210 REMOVE EXISTING ELECTRICAL OUTLETS, SWITCHES, LIGHTING, BOXES, AND WIRING THROUGHOUT - TYPICAL
- 214 REMOVE FLOOR & CEILING AS NECESSARY FOR MECHANICAL SHAFT PER MECH. PLANS
- 215 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ELEVATOR SHAFT, PIT AND LOWER ELEV. LOBBY EXCAVATION AND INSTALLATION
- 216 REMOVE EXISTING MECHANICAL EQUIPMENT, SYSTEMS AND ASSOCIATED INFRASTRUCTURE THROUGHOUT - TYPICAL
- 217 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ENLARGED STAIRWELL SHAFT, LIFT PIT (AT LOWER LEVEL LOWER LIFT VESTIBULE EXCAVATION AND INSTALLATION
- 219 REMOVE PORTION OF STONE WALL FOR NEW SHORT-DOOR ACCESS TO EXISTING VAULT SPACE FROM EXISTING RAMPED WINDOWS WELL BOTTOM
- 221 SALVAGE ORIGINAL DECORATIVE METAL CLUSTER FINIAL CAPS FOR PROFILE REFERENCE FOR STAIR REBUILD
- 223 REMOVE WALL PARTITION FROM FLOOR TO CEILING VERTICALLY AND HORIZONTALLY TO JOINT WITH PERPENDICULAR ADJACENT WALLS



SWABACK
Architects + Planners
7550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



Expires 06/30/25

PROJECT PHASE

<input type="radio"/>	PRELIMINARY PRICING	06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE	10.31.22
<input type="radio"/>	CD PROGRESS SET	05.18.23
<input type="radio"/>	ISSUE FOR BID	
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

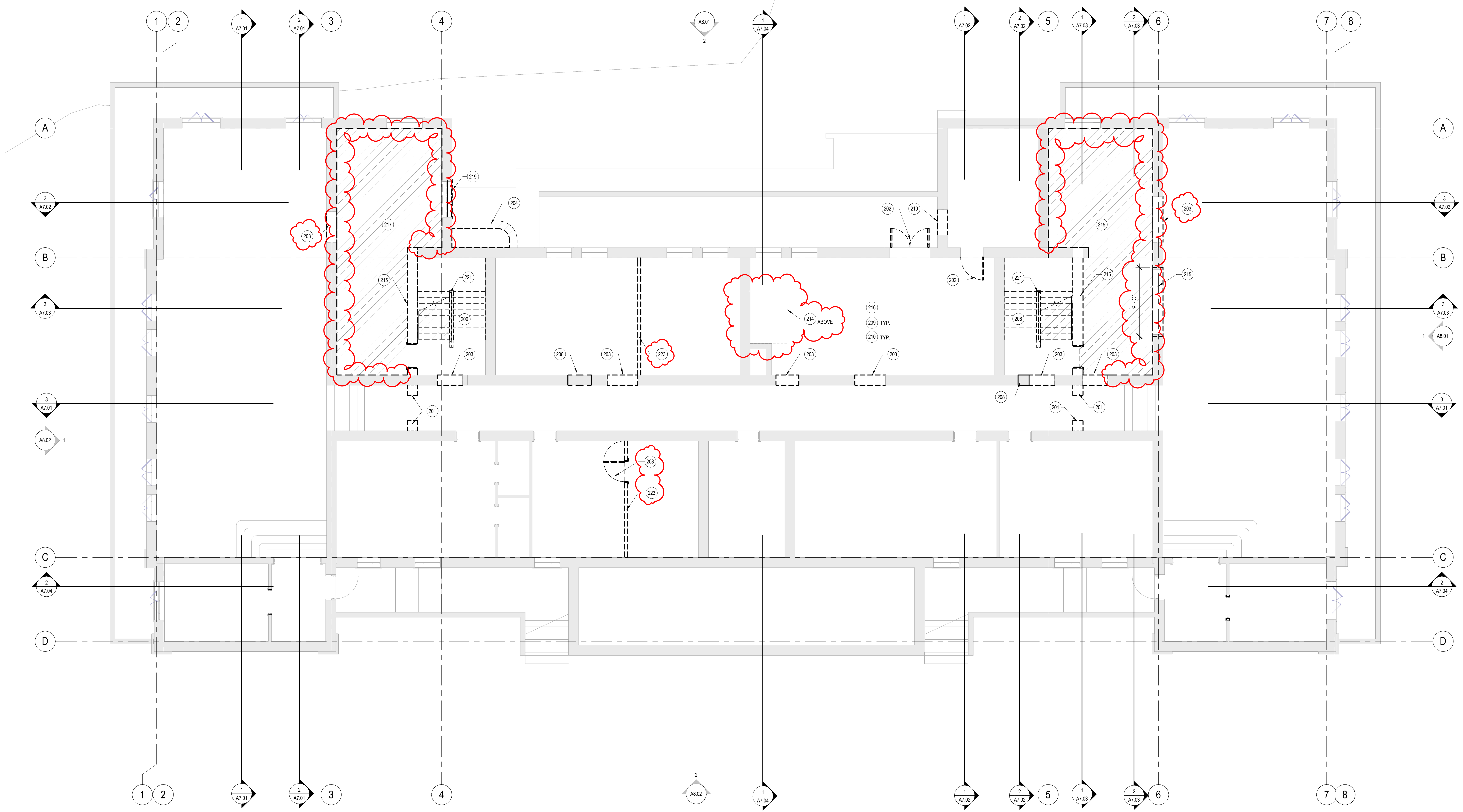
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE - BUILDING #116 REHABILITATION

EDA SCOPE

116 Geronimo Street, Fort Apache, AZ 85926
LOWER LEVEL - DEMOLITION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A2.01



1 LOWER LEVEL DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"

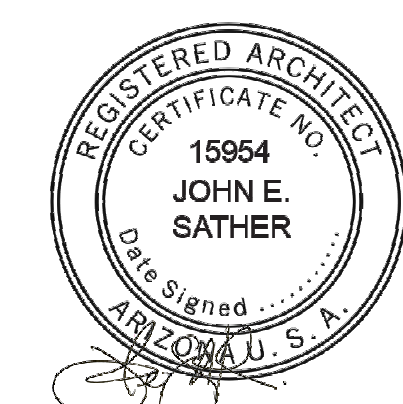


COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.

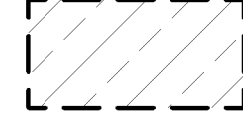
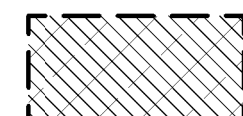
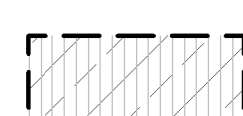
3/11/2024 3:47:18 PM



SWABACK
Architects + Planners
7550 E. McDowell Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



FLOOR DEMOLITION LEGEND

-  FULLY DEMOLISH FLOOR
-  DEMOLISH FLOOR DOWN TO TOP OF STRUCTURE
-  DEMOLISH FLOOR DOWN TO TOP OF STL. JOISTS.
G.C. OPTION: SALVAGE/MODIFY K-JOISTS OR REPLACE WITH NEW STEEL BEAM JOISTS - SEE STRUCTURAL

KEYNOTES

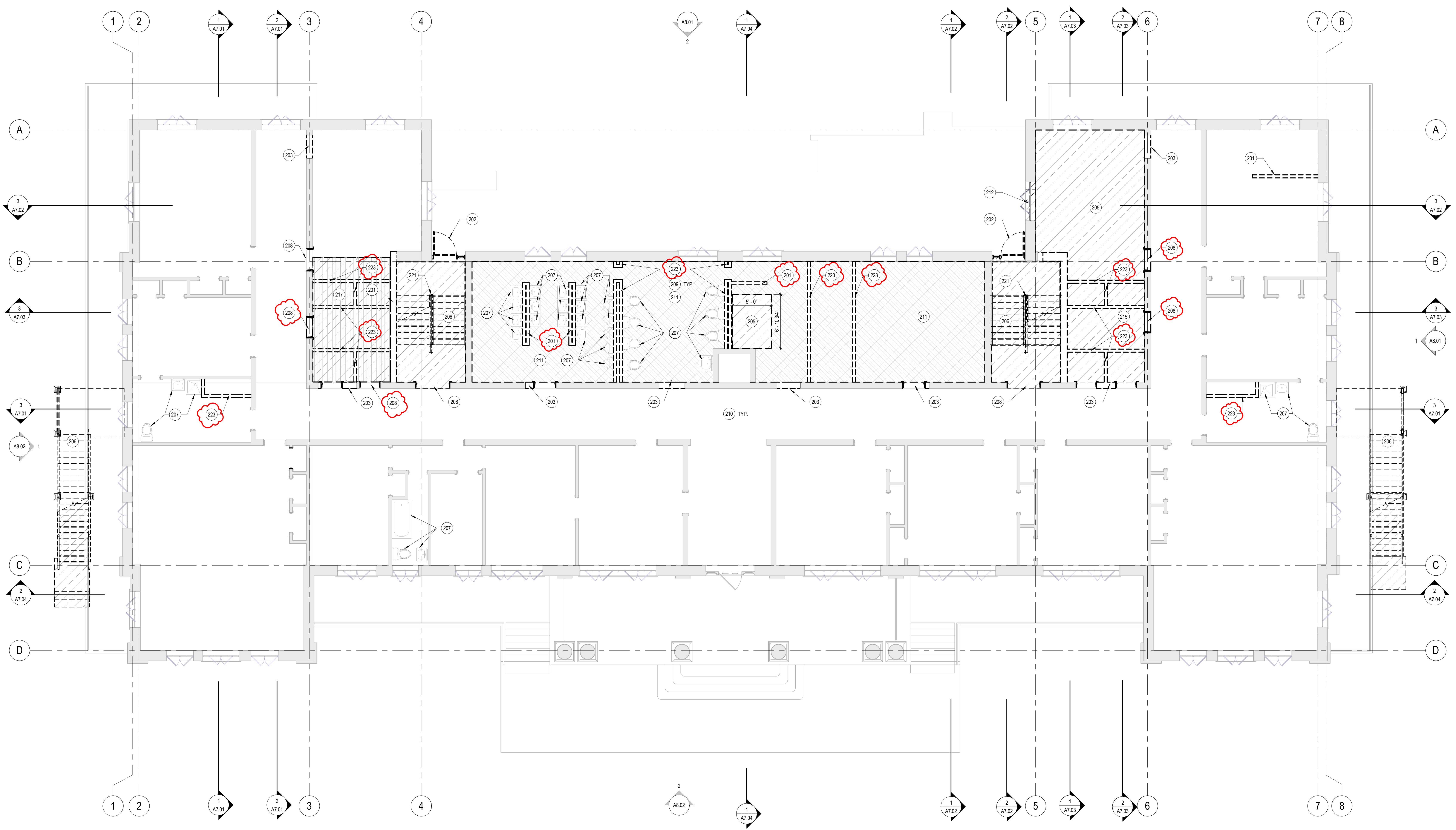
- 201 REMOVE WALL OR PORTION THEREOF
- 202 EXISTING DOOR OR WINDOW TO BE REMOVED, OPENING TO REMAIN
- 203 LOCATION OF PARTIAL WALL REMOVAL FOR NEW DOORWAY - SEEN NOTATION AND DIMENSION PLANS, STRUCT. DRAWINGS FOR SHORING, LINTEL, ETC.
- 205 REMOVE FLOOR OR PORTION THEREOF AS INDICATED
- 206 REMOVE STAIR, LANDINGS AND ASSOCIATED ELEMENTS, SALVAGE ELEMENTS PER NOTE 221
- 207 REMOVE PLUMBING FIXTURE AND ASSOCIATED PIPING
- 208 EXISTING DOOR/DOORWAY TO BE REMOVED - SEE DIMENSION PLANS FOR INFILL DIRECTION
- 209 REMOVE EXISTING PLUMBING THROUGHOUT - TYPICAL
- 210 REMOVE EXISTING ELECTRICAL OUTLETS, SWITCHES, LIGHTING, BOXES, AND WIRING THROUGHOUT - TYPICAL
- 211 REMOVE FLOOR FINISH, CONCRETE TOPPING DOWN TO BAR JOISTS (TO REMAIN)
- 212 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ENLARGED STAIRWELL SHAFT, LIFT PIT (AT LOWER LEVEL LOWER LIFT VESTIBULE EXCAVATION AND INSTALLATION)
- 215 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ELEVATOR SHAFT, PIT AND LOWER ELEV. LOBBY EXCAVATION AND INSTALLATION
- 217 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ENLARGED STAIRWELL SHAFT, LIFT PIT (AT LOWER LEVEL LOWER LIFT VESTIBULE EXCAVATION AND INSTALLATION)
- 221 SALVAGE ORIGINAL DECORATIVE METAL BALUSTER FINAL CAPS FOR PROFILE REFERENCE FOR STAIR REPAIR
- 223 REMOVE WALL PARTITION FROM FLOOR TO CEILING VERTICALLY AND HORIZONTALLY TO JOINT WITH PERPENDICULAR ADJACENT WALLS

PROJECT PHASE

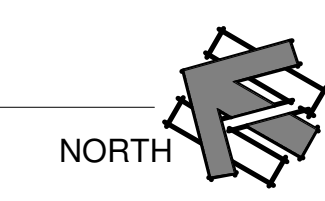
<input type="radio"/>	PRELIMINARY PRICING	06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE	10.31.22
<input type="radio"/>	CD PROGRESS SET	05.18.23
<input type="radio"/>	ISSUE FOR BID	
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023



1 MAIN LEVEL DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"



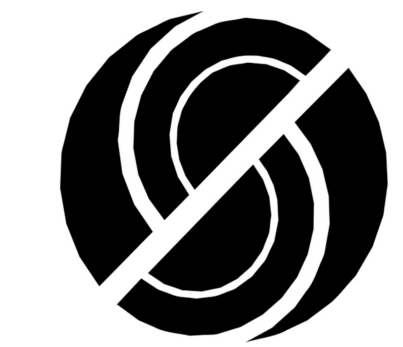
FORT APACHE - BUILDING #116 REHABILITATION

EDA SCOPE

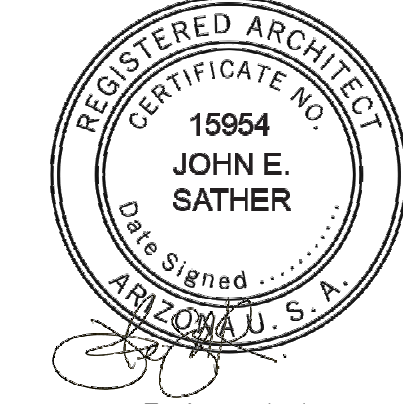
116 Geronimo Street, Fort Apache, AZ 85926
MAIN LEVEL - DEMOLITION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A2.02

3/11/2024 3:49:28 PM



SWABACK
Architects + Planners
7550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



Expires 06/30/25

PROJECT PHASE		
<input type="radio"/>	PRELIMINARY PRICING	06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE	10.31.22
<input type="radio"/>	CD PROGRESS SET	05.18.23
<input type="radio"/>	ISSUE FOR BID	
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION	03.13.23

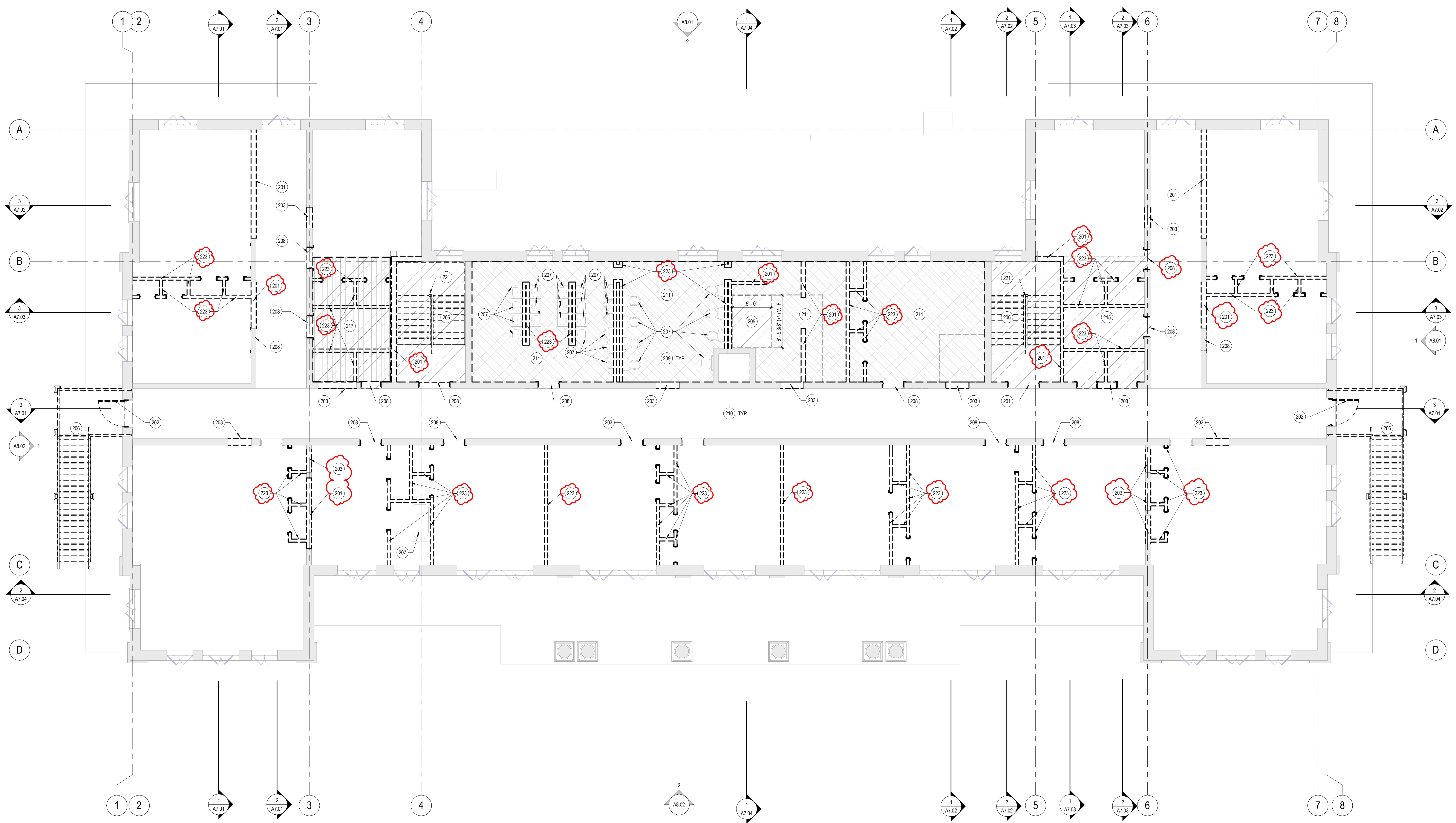
REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FLOOR DEMOLITION LEGEND

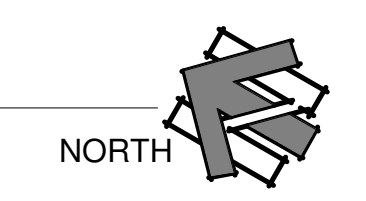
- FULLY DEMOLISH FLOOR
- DEMOLISH FLOOR DOWN TO TOP OF STRUCTURE
- DEMOLISH FLOOR DOWN TO TOP OF STL. JOISTS.
G.C. OPTION: SALVAGE/MODIFY K-JOISTS OR REPLACE WITH NEW STEEL BEAM JOISTS - SEE STRUCTURAL

KEYNOTES

- 201 REMOVE WALL OR PORTION THEREOF
- 202 EXISTING DOOR OR WINDOW TO BE REMOVED, OPENING TO REMAIN
- 203 LOCATION OF PARTIAL WALL REMOVAL FOR NEW DOORWAY - SEEN NOTATION AND DIMENSION PLANS, STRUCT. DRAWINGS FOR SHORING, LINTEL, ETC.
- 205 REMOVE FLOOR OR PORTION THEREOF AS INDICATED
- 206 REMOVE STAIR, LANDINGS AND ASSOCIATED ELEMENTS. SALVAGE ELEMENTS PER NOTE 221
- 207 REMOVE PLUMBING FIXTURE AND ASSOCIATED PIPING
- 208 EXISTING DOOR/DOORWAY TO BE REMOVED - SEE DIMENSION PLANS FOR INFILL DIRECTION
- 209 REMOVE EXISTING PLUMBING THROUGHOUT - TYPICAL
- 210 REMOVE EXISTING ELECTRICAL OUTLETS, SWITCHES, LIGHTING, BOXES, AND WIRING THROUGHOUT - TYPICAL
- 211 REMOVE FLOOR FINISH, CONCRETE TOPPING DOWN TO BAR JOISTS (TO REMAIN)
- 215 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ELEVATOR SHAFT, PIT AND LOWER ELEV. LOBBY EXCAVATION AND INSTALLATION
- 217 REMOVE FLOOR AND WALL PORTIONS AS NECESSARY FOR ENLARGED STAIRWELL SHAFT, LIFT PIT AT LOWER LEVEL LOWER LEFT VESTIBULE EXCAVATION AND INSTALLATION
- 221 SALVAGE ORIGINAL DECORATIVE METAL BALUSTER FINAL CAPS FOR PROFILE REFERENCE FOR STAIR REBUILD
- 223 REMOVE WALL PARTITION FROM FLOOR TO CEILING VERTICALLY AND HORIZONTALLY TO JOINT WITH PERPENDICULAR ADJACENT WALLS.



1 UPPER LEVEL DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"



FORT APACHE - BUILDING #116 REHABILITATION

NON EDA SCOPE

116 Geronimo Street, Fort Apache, AZ 85926
UPPER LEVEL - DEMOLITION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A2.03

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.

3/11/2024 3:50:41 PM

GENERAL PLAN NOTES - APPROACH TO FINISHES

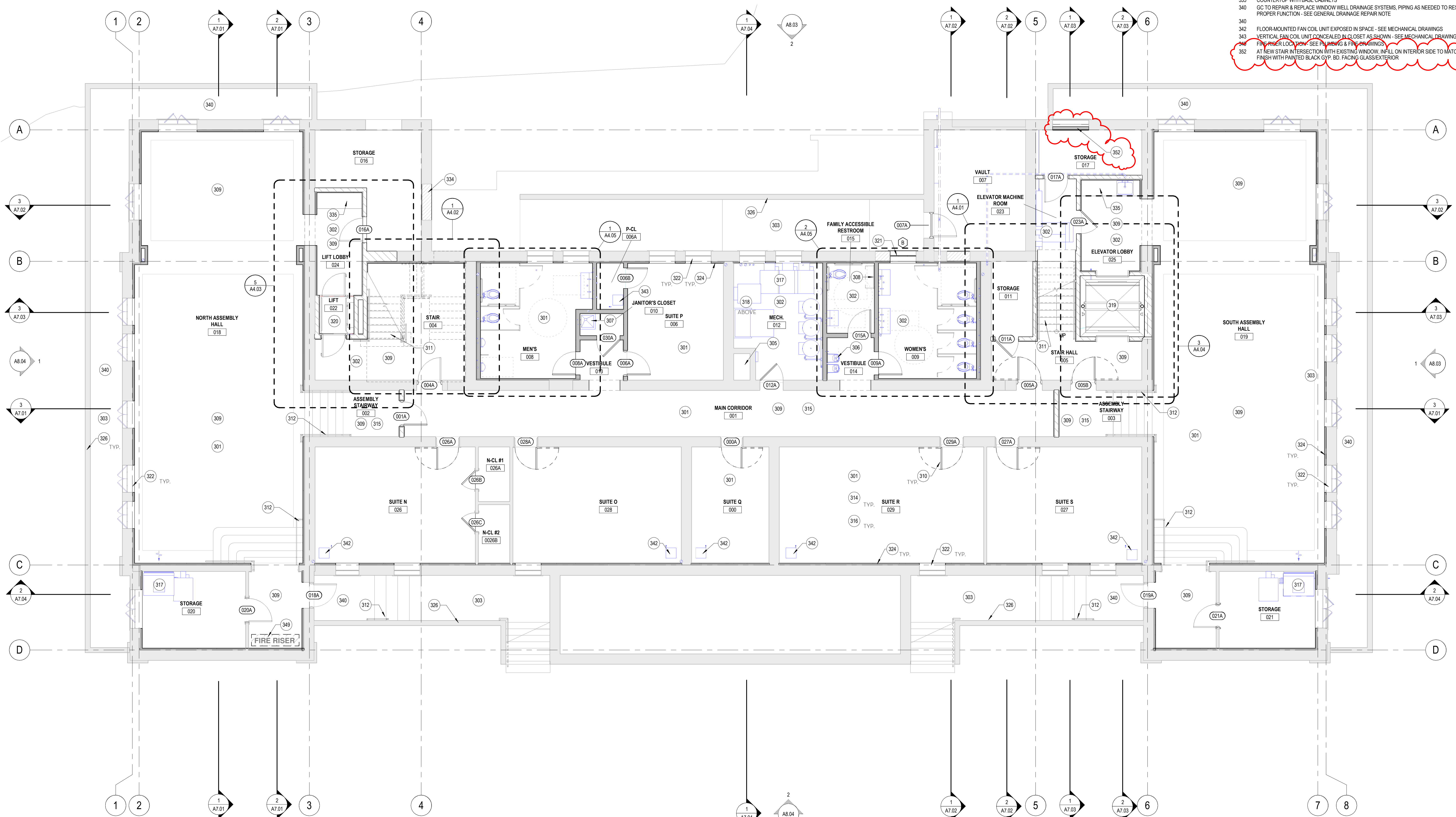
- Special Requirement of the Project: Original historic wall and ceiling finish was painted plaster over brown/ochre masonry or brown/ochre metal wire lath. As a result of prior remediation work, paint has been stripped and left in patches and the finish plaster is all pitted and damaged to a varying degree.
- Wall & Ceiling finishes by category:
 - Office Space wall and ceiling finishes: The Owner and Design Team have embraced a minimalist approach to finishing the Office spaces. Existing plaster is to be repaired and patched in-kind to match the original. The original color is a light tan/cream. Any holes and/or exposed wire lath to be patched prior to sealing, with visible patch extends part of the 'story' interior face of exterior walls. Existing exterior walls are to be repaired and patched in-kind to match the original. The original color is a light tan/cream. Any holes and/or exposed wire lath to be patched prior to sealing, with visible patch extends part of the 'story' interior face of exterior walls. Existing exterior walls are to be repaired and patched in-kind to match the original. The original color is a light tan/cream. Any holes and/or exposed wire lath to be patched prior to sealing, with visible patch extends part of the 'story' interior face of exterior walls.
 - Assembly Halls: Walls and ceilings to be drywall with level-5 finish to give plaster-like appearance. Assembly walls and ceiling finishes will be all-new gypsum board. Unlike lower-level office spaces, the residential electrical outlets, wiring, plumbing to be in-walls/concealed per standard assembly finish.
- Floor finishes by category:
 - Office Space floors are currently bare concrete. Finish to be polished and clear sealed.
 - Common Bathrooms floors are existing bare or proposed new concrete, to be polished and stained.
 - Mechanical/Storage floors are existing bare or proposed new concrete, to be cleaned and sealed.
 - Common Space (lobbies and corridors) floors: modular linoleum floor tiles - 25cm x 25cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Assembly Halls floors: modular linoleum floor tile - 30cm x 30cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Apartment floors: linoleum sheet flooring. Typical floor finish for all spaces (bedrooms, baths, living rooms, closets, etc.)
- See A9 series for additional information on finishes

GENERAL PLAN NOTES - M.P.E. SYSTEMS STRATEGY

- HVAC Systems
 - Heating/cooling via 4-pipe system from existing separate nearby campus plant. Plant capacity to be upgraded as needed.
 - Combination of floor mounted and ceiling mounted fan coil units - see mechanical drawings.
 - Ventilation via ceiling ducting (where exposed).
 - Consistent with minimalist finish approach, ducting and equipment to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors and lobbies, ducting and equipment to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Upper level apartment ducts and to be concealed in ceiling plenums and/or attic space above.
- Plumbing
 - Piping to be copper or cast-iron due to being exposed/visible in rooms in many locations.
 - Consistent with minimalist finish approach, hot & cold water piping, waste stacks, etc. to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors, lobbies and assembly halls, piping to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Roof drainage - existing half-round copper gutters appear in good condition (VFI) but downspouts are a hodge-podge of round galvanized and rectangular copper. Standardize via installation rectangular copper to match original.
- Electrical
 - Plaster and metal lath at existing wood partitions necessitates full abandonment and removal of all existing buried conduit and recessed boxes. In preparation for new electrical install, repair and patch in-kind plaster holes created during removal, leaving "ghosts" of prior outlet and switch locations as part of "story" in Offices and Storage rooms prior to clear finish sealing.
 - Design strategy similar to approach to piping, new conduit/boxes/switches to be exposed in Office spaces, Public Baths, Storage rooms, but concealed in historic corridors, lobbies, assembly halls, and the upper level (apartment) walls and ceilings. See specifications for additional information.
 - Light fixtures have been selected by Electrical with assistance from SWABACK - see Electrical drawings.

KEYNOTES

- EXISTING CONCRETE FLOOR SLAB - CLEAN AND REPAIR AS NEEDED IN PREPARATION FOR FINISH AS INDICATED ON FINISH FLOOR PLAN & FINISH SCHEDULE
- NEW CONCRETE FLOOR SLAB PER STRUCTURAL - FLOOR FINISH AS INDICATED ON FINISH FLOOR PLAN & FINISH SCHEDULE
- REPAIR EXISTING CONCRETE FLOOR, SLAB EDGE, STAIR EDGE, OR SITE WALL AS NEEDED TO RESTORE TO ORIGINAL CONDITION
- EXISTING MASONRY FLUE TO REMAIN
- WALL MOUNTED WATER FOUNTAIN PER PLUMBING
- JANITOR SINK PER PLUMBING
- CHANGING STATION PER SPECIFICATIONS
- LINKLEUM TILE FLOOR FINISH - SEE FINISH FLOOR PLAN, FINISH SCHEDULE AND SPECIFICATIONS
- NEW DOOR IN EXISTING DOORWAY WITH JAMB MODIFICATIONS AND NEW HARDWARE TO ALLOW 180 DEGREE OPENING - SEE DOOR SCHEDULE & DETAIL 1/01
- NEW INTERIOR STAIRS TO BE STEEL STRINGER, CONC. PAN TREAD, VERTICAL SQUARE STEEL BALUSTERS TO METAL RAIL WITH WOOD GUARDRAIL CAP SIM. TO EXISTING BEING REPLACED - SEE STRUCTURAL
- NEW 1.5" DIAMETER METAL HANDRAIL PER SPECIFICATIONS, 3" ABOVE TREAD NOSE
- EXISTING "ROUGH" INTERIOR PLASTER FINISH TO REMAIN WHERE INDICATED - SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT AND THE FINISH FLOOR PLANS, FINISH SCHEDULES
- PLASTER FINISH TO BE REPAIRED AND REFINISHED TO ORIGINAL CONDITION WITH IN-KIND/HISTORIC MATERIALS CONSISTENT WITH SEC. OF INT. STANDARDS. SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT AND THE FINISH FLOOR PLANS, FINISH SCHEDULES
- SURFACE MOUNTED OUTLET & SWITCH BOXES, EXPOSED METAL CONDUIT & PLUMBING PIPING - SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT. SEE M.P.E. DRAWINGS FOR LOCATIONS & DETAILED INFO.
- MECHANICAL EQUIPMENT - SEE MECHANICAL DRAWINGS 300
- MECHANICAL/ELECTRICAL SHAFT OPENING IN FLOOR OR CEILING - SEE MECHANICAL AND STRUCTURAL DRAWINGS
- 2-SIDED HYDRAULIC ELEVATOR WITH INTERMEDIATE LEVEL ACCESS - SEE SPECIFICATIONS, SECTIONS, AND DETAILS
- VERTICAL PLATFORM LIFT - SEE SPECIFICATIONS, SECTIONS, AND DETAILS
- NEW WINDOW FROM SALVAGED ORIG. UNITS/PIECES TO MATCH EXISTING ORIG. SINGLE-PANE UNITS
- REPLACE WOOD WINDOW SILL & APRON IN-KIND TO ACCOMMODATE DEEPENED INTERIOR JAMB DEPTH DUE TO FURRING. MATCH ORIGINAL WOOD PROFILES, EXTENSIONS, FINISH DIMENSIONS
- WALL FURRING/RIGID INSUL. SYSTEM PER SPECIFICATIONS, SEE DIMENSION PLANS & WALL TYPES
- EXISTING CONCRETE SITE WALL AND/OR WINDOW WELL TO REMAIN - REPAIR AND REFINISH AS NEEDED TO RESTORE CONDITION
- EXISTING WINDOW OPENING INFILL WITH IN-KIND STONE TO MATCH ORIGINAL - TOOTH-IN-FOR SEAMLESS TRANSITION
- COUNTERTOP WITH BASE CABINETS
- GC TO REPAIR & REPLACE WINDOW WELL DRAINAGE SYSTEMS, PIPING AS NEEDED TO RESTORE PROPER FUNCTION - SEE GENERAL DRAINAGE REPAIR NOTE
- FLOOR MOUNTED FAN COIL UNIT EXPOSED IN SPACE - SEE MECHANICAL DRAWINGS
- VERTICAL FAN COIL UNIT CONCEALED IN CLOSET AS SHOWN - SEE MECHANICAL DRAWINGS
- FIRE RISER LOCATION - SEE PLUMBING & FIRE DRAWINGS
- AT NEW STAR IN INTERSECTION WITH EXISTING WINDOW, INFILL ON INTERIOR SIDE TO MATCH ADJ. FINISH WITH PAINTED BLACK OVER RD. FACING GLASS EXTERIOR



1 LOWER LEVEL - NOTATION FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROJECT PHASE	
<input type="radio"/>	PRELIMINARY PRICING 06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE 10.31.22
<input type="radio"/>	CD PROGRESS SET 05.18.23
<input type="radio"/>	ISSUE FOR BID
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION 03.13.23

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE - BUILDING #116 REHABILITATION
EDA SCOPE
 116 Geronimo Street, Fort Apache, AZ 85926
LOWER LEVEL - NOTATION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	As indicated
JOB NO.	2101
SHEET	A3.01

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, INC.
3/11/2024 3:51:56 PM

GENERAL PLAN NOTES - APPROACH TO FINISHES

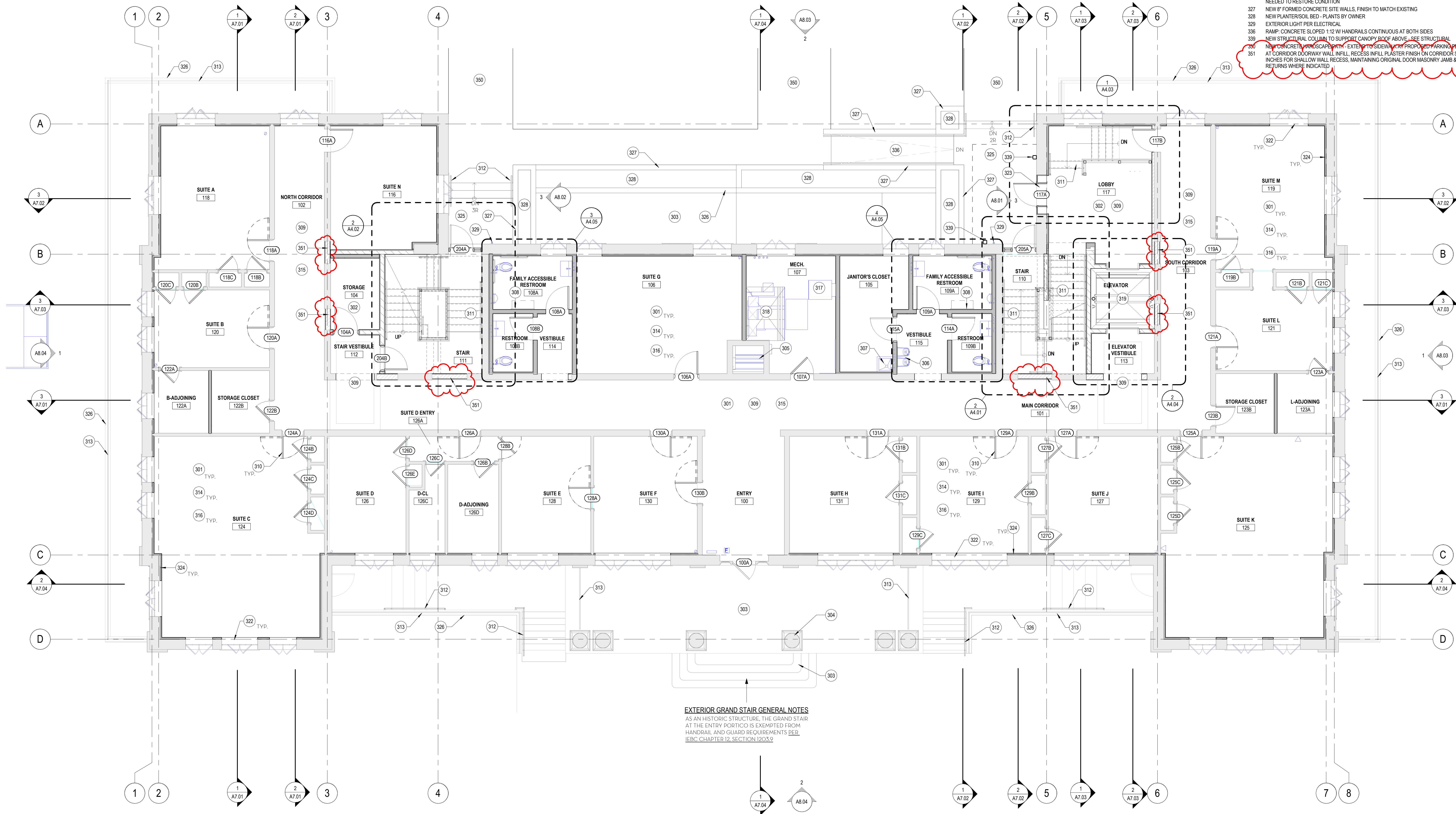
- Special Requirement of the Project:** Original historic wall and ceiling finish was painted plaster over brown/ochre masonry or brown/ochre metal wire lath. As a result of prior remediation work, paint has been stripped and left in patches and the finish plaster is all pitted and damaged to a varying degree.
- Wall & Ceiling finishes by category:**
 - Office Space wall and ceiling finishes:** The Owner and Design Team have embraced a **minimalist** approach to finishing the Office spaces. Existing plaster is to be removed and replaced with a new finish to be selected by the Architect. The new finish is to be a **gypsum board** finish. The new finish is to be a **gypsum board** finish. Any holes and/or exposed wire lath to be patched prior to sealing, with visible patch extends part of the 'story' interior face of exterior walls. Existing exterior walls are to be finished with a new finish to be selected by the Architect. A different approach occurs at the upper (residential) level, where furred gypsum exterior walls to be drywall finish and painted to match the adjacent new interior wall partitions for a consistent appearance.
 - Common Spaces (lobbies and corridors) wall and ceiling finishes:** **Special Requirement of the Project:** These spaces to have their plaster finishes repaired and refreshed to original condition with in-kind materials (consistent with sec. Of Int. Standards). Use of Portland cement based plaster to be avoided. See specifications for additional direction.
 - Assembly Halls walls and ceilings:** to be drywall with level-5 finish to give plaster-like appearance.
 - Apartment walls and ceiling finishes:** will be all-new gypsum board. Unlike lower-level office spaces, the residential electrical outlets, wiring, plumbing to be in-walls/concealed per standard assembly finish.
- Floor finishes by category:**
 - Office Space floors:** are currently bare concrete. Finish to be polished and clear sealed.
 - Common Bathrooms floors:** are existing bare or proposed new concrete, to be polished and stained.
 - Mechanical/Utility/Storage floors:** are existing bare or proposed new concrete, to be cleaned and sealed.
 - Common Spaces (lobbies and corridors) floors:** modular linoleum floor tiles - 25cm x 25cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Assembly Halls floors:** modular linoleum floor tile - 30cm x 30cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Apartment floors:** linoleum sheet flooring. Typical floor finish for all spaces (bedrooms, baths, living rooms, closets, etc.)
- See A9 series for additional information on finishes

GENERAL PLAN NOTES - M.P.E. SYSTEMS STRATEGY

- HVAC Systems**
 - Heating/cooling via 4-pipe system from existing separate/nearby campus plant. Plant capacity to be upgraded as needed.
 - Combination of floor mounted and ceiling mounted fan coil units - see mechanical drawings.
 - Ventilation via **gypsum ducting** (where exposed).
 - Consistent with **minimalist** finish approach, ducting and equipment to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors and lobbies, ducting and equipment to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Upper level apartment ducts and to be concealed in ceiling plenums and/or attic space above.
- Plumbing**
 - Piping to be copper or cast-iron due to being exposed/visible in rooms in many locations.
 - Consistent with **minimalist** finish approach, hot & cold water piping, waste stacks, etc. to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors, lobbies and assembly halls, piping to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Roof drainage - existing half-round copper gutters appear in good condition (VFI) but downspouts are a hodge-podge of round galvanized and rectangular copper. Standardize via installation rectangular copper to match original.
- Electrical**
 - Plaster and metal lath at existing wood partitions necessitates full abandonment and removal of all existing buried conduit and recessed boxes. In preparation for new electrical install, repair and patch in-kind plaster holes created during removal, leaving 'ghosts' of prior outlet and switch locations as part of 'story' in Offices and Storage rooms prior to clear finish sealing.
 - Design strategy similar to approach to piping, new conduits/boxes/switches to be exposed in Offices spaces, Public Baths, Storage rooms, but concealed in historic corridors, lobbies, assembly halls, and the upper level (apartment) walls and ceilings. See specifications for additional information.
 - Light fixtures have been selected by Electrical with assistance from SWABACK - see Electrical drawings.

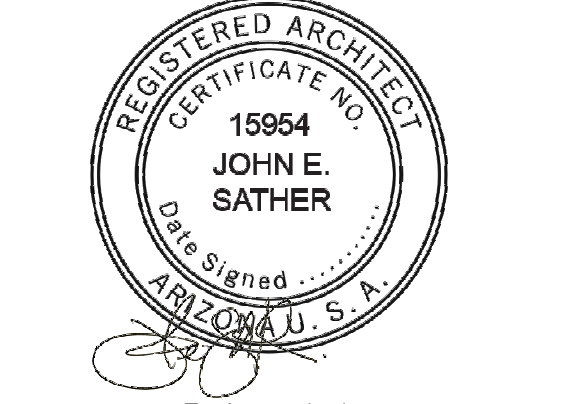
KEYNOTES

- EXISTING CONCRETE FLOOR SLAB - CLEAN AND REPAIR AS NEEDED IN PREPARATION FOR FINISH AS INDICATED ON FINISH FLOOR PLAN & FINISH SCHEDULE
- NEW CONCRETE FLOOR SLAB PER STRUCTURAL - FLOOR FINISH AS INDICATED ON FINISH FLOOR PLAN & FINISH SCHEDULE
- REPAIR EXISTING CONCRETE FLOOR, SLAB EDGE, STAIR EDGE, OR SITE WALL AS NEEDED TO RESTORE TO ORIGINAL CONDITION
- REFINISH COLUMNS IN-KIND, REPAIRING ANY CRACKS OR DAMAGE AS NEEDED, FOR RESTORATION CONSISTENT WITH SEC. OF INTERIOR STANDARDS
- EXISTING MASONRY FLUE TO REMAIN
- WALL MOUNTED WATER FOUNTAIN PER PLUMBING
- JANITOR SINK PER PLUMBING
- CHANGING STATION PER SPECIFICATIONS
- LINOLEUM TILE FLOOR FINISH - SEE FINISH FLOOR PLAN, FINISH SCHEDULE AND SPECIFICATIONS
- NEW DOOR IN EXISTING DOORWAY WITH JAMB MODIFICATIONS AND NEW HARDWARE TO ALLOW 180 DEGREE OPENING - SEE DOOR SCHEDULE & DETAIL 101
- NEW INTERIOR STAIRS TO BE STEEL STRINGER, CONC. PAN TREAD, VERTICAL SQUARE STEEL BALUSTERS TO METAL RAIL WITH WOOD GUARDRAIL CAP SIM. TO EXISTING BEING REPLACED - SEE STRUCTURAL
- NEW 1.5" DIAMETER METAL HANDRAIL PER SPECIFICATIONS, 3" ABOVE TREAD NOSE
- EXISTING GUARDRAIL TO REMAIN, REPAIR & REFINISH AS NEEDED TO RESTORE TO ORIGINAL CONDITION
- EXISTING 'ROUGH' INTERIOR PLASTER FINISH TO REMAIN WHERE INDICATED - SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT AND THE FINISH FLOOR PLANS, FINISH SCHEDULES
- PLASTER FINISH TO BE REPAIRED AND REFINISHED TO ORIGINAL CONDITION WITH IN-KIND/HISTORIC MATERIALS CONSISTENT WITH SEC. OF INT. STANDARDS. SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT AND THE FINISH FLOOR PLANS, FINISH SCHEDULES
- SURFACE MOUNTED OUTLET & SWITCH BOXES, EXPOSED METAL CONDUIT & PLUMBING PIPING - SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT. SEE M.P.E. DRAWINGS FOR LOCATIONS & DETAILED INFO.
- MECHANICAL EQUIPMENT - SEE MECHANICAL DRAWINGS 300
- MECHANICAL/ELECTRICAL SHAFT OPENING IN FLOOR OR CEILING - SEE MECHANICAL AND STRUCTURAL DRAWINGS
- 2 SIZED HYDRAULIC ELEVATOR WITH INTERMEDIATE LEVEL ACCESS - SEE SPECIFICATIONS, SECTIONS, AND DETAILS
- REPLACE WOOD WINDOW SILL & APRON IN-KIND TO ACCOMMODATE DEEPENED INTERIOR JAMB DEPTH DUE TO FURRING. MATCH ORIGINAL WOOD PROFILES, EXTENSIONS, FINISH DIMENSIONS
- NEW DOOR AT EXISTING WINDOW OPENING - SEE SCHEDULES, DETAILS
- WALL FURRING/ROD INSUL. SYSTEM PER SPECIFICATIONS, SEE DIMENSION PLANS & WALL TYPES
- NEW CONCRETE EXTERIOR TERRACE FLOOR AND STAIR TREADS, BRUSHED FINISH. SEE STRUCTURAL
- EXISTING CONCRETE SITE WALL AND/OR WINDOW WELL TO REMAIN - REPAIR AND REFINISH AS NEEDED TO RESTORE CONDITION
- NEW 4" FORMED CONCRETE SITE WALLS, FINISH TO MATCH EXISTING
- NEW PLANTERS/POLE BED - PLANTS BY OWNER
- EXTERIOR LIGHT PER ELECTRICAL
- RAMP - CONCRETE SLOPED 1:12 W/ HANDRAILS CONTINUOUS AT BOTH SIDES
- NEW STRUCTURAL COLUMN TO SUPPORT CANOPY ROOF ABOVE - SEE STRUCTURAL
- NEW CONCRETE TERRACE/STAIR - EXTERIOR SIDEWALK FROM EXISTING PARKING LOT TO DECK AT CORRIDOR DOORWAY WALL. RECESS WALL PLASTER FINISH ON CORRIDOR SIDE BY 1.5 INCHES FOR SHALLOW WALL RECESS, MAINTAINING ORIGINAL DOOR MASONRY JAMB & HEAD RETURNS WHERE INDICATED



EXTERIOR GRAND STAIR GENERAL NOTES
 AS AN HISTORIC STRUCTURE, THE GRAND STAIR AT THE ENTRY PORTICO IS EXEMPTED FROM HANDRAIL AND GUARD REQUIREMENTS PER IBC CHAPTER 12, SECTION 1203.2

1 MAIN LEVEL - NOTATION FLOOR PLAN
 SCALE: 3/16" = 1'-0"



PROJECT PHASE	
<input type="radio"/>	PRELIMINARY PRICING 06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE 10.31.22
<input type="radio"/>	CD PROGRESS SET 05.18.23
<input type="radio"/>	ISSUE FOR BID
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION 03.13.24

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE - BUILDING #116 REHABILITATION
 116 Geronimo Street, Fort Apache, AZ 85926
EDA SCOPE
MAIN LEVEL - NOTATION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	As indicated
JOB NO.	2101
SHEET	A3.02

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.
 3/11/2024 3:53:12 PM

GENERAL PLAN NOTES - APPROACH TO FINISHES

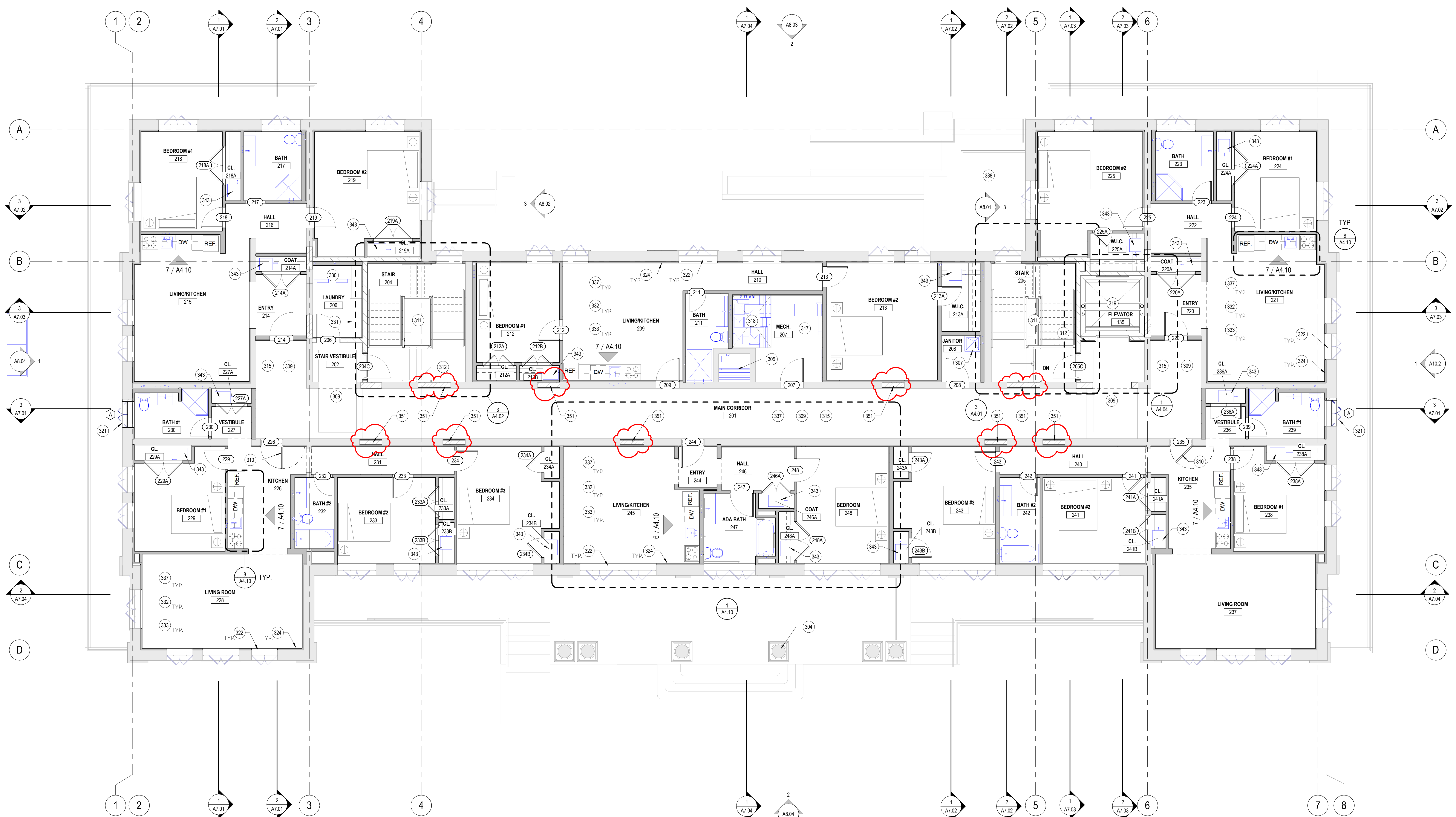
- Special Requirement of the Project: Original historic wall and ceiling finish was painted plaster over browncoated masonry or browncoated metal wire lath. As a result of prior remediation work, paint has been stripped and left in patches and the finish plaster is all pitted and damaged to a varying degree.
- Wall & Ceiling finishes by category:
 - Office Space wall and ceiling finishes: The Owner and Design Team have embraced a "minimalist" approach to finishing the Office spaces. Existing plaster is to be repaired and finished to match the original finish. Any holes and/or exposed wire lath to be patched prior to sealing, with visible patch extends part of the "story". Interior face of exterior walls with existing exterior walls are to be finished with a new finish. To provide the necessary finish, the masonry is to be repaired and finished to match the original finish. A new finish is to be applied to the exterior walls. As a new finish, these walls will be plaster-finished to complement the sealed original interior partitions. Furthermore, these walls to be painted an accent color in the Office spaces (lower two levels), color to be selected by the architect. A different approach occurs at the upper (residential) level, where furred gypsum exterior walls to be drywall finish and painted to match the adjacent new interior wall partitions for a consistent appearance.
 - Common Space (lobbies and corridors) wall and ceiling finishes: Special Requirement of the Project: These spaces to have their plaster finishes repaired and refreshed to original condition with in-kind materials (consistent with sec. Of Int. Standards). Use of Portland cement based plaster to be avoided. See specifications for additional direction.
 - Assembly Halls walls and ceilings to be drywall with level-5 finish to give plaster-like appearance.
 - Apartment walls and ceiling finishes will be all-new gypsum board. Unlike lower-level office spaces, the residential electrical outlets, wiring, plumbing to be in-walls/concealed per standard assembly finish.
- Floor finishes by category:
 - Office Space floors are currently bare concrete. Finish to be polished and clear sealed.
 - Common Bathrooms floors are existing bare or proposed new concrete, to be polished and stained.
 - Mechanical/Utility/Storage floors are existing bare or proposed new concrete to be cleaned and sealed.
 - Common Space (lobbies and corridors) floors: modular linoleum floor tiles - 25cm x 25cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Assembly Halls floors: modular linoleum floor tile - 30cm x 30cm tiles. Most installed on a diagonal in a checkerboard pattern. Regular solid-color boarders in some places.
 - Apartment floors: linoleum sheet flooring. Typical floor finish for all spaces (bedrooms, baths, living rooms, closets, etc.)
- See A9 series for additional information on finishes

GENERAL PLAN NOTES - M.P.E. SYSTEMS STRATEGY

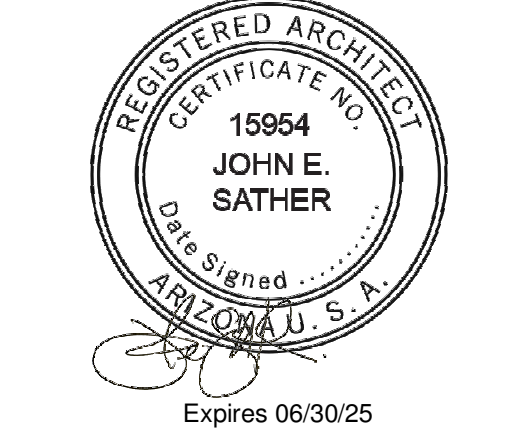
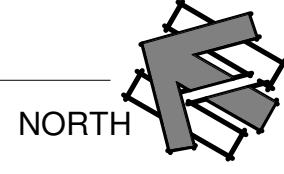
- HVAC Systems
 - Heating/cooling via 4-pipe system from existing separate nearby campus plant. Plant capacity to be upgraded as needed.
 - Combination of floor mounted and ceiling mounted fan coil units - see mechanical drawings.
 - Ventilation via ductwork (spiral where exposed).
 - Consistent with "minimalist" finish approach, ducting and equipment to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors and lobbies, ducting and equipment to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Upper level apartment ducts and to be concealed in ceiling plenums and/or attic space above.
- Plumbing
 - Piping to be copper or cast-iron due to being exposed/visible in rooms in many locations.
 - Consistent with "minimalist" finish approach, hot & cold water piping, waste stacks, etc. to be exposed within the Office and Storage spaces.
 - In common spaces such as historic corridors, lobbies and assembly halls, piping to be concealed/chased in existing walls and ceilings where possible and soffited where necessary per RCPs.
 - Roof drainage - existing half-round copper gutters appear in good condition (VFI) but downspouts are a hodge-podge of round galvanized and rectangular copper. Standardize via installation rectangular copper to match original.
- Electrical
 - Plaster and metal lath at existing wood partitions necessitates full abandonment and removal of all existing buried conduit and recessed boxes. In preparation for new electrical install, repair and patch in-kind plaster holes created during removal, leaving "ghosts" of prior outlet and switch locations as part of "story" in Offices and Storage rooms prior to clear finish sealing.
 - Design strategy similar to approach to piping; new conduits/boxes/wires to be exposed in Offices spaces, Public Baths, Storage rooms, but concealed in historic corridors, lobbies, assembly halls, and the upper level (apartment) walls and ceilings. See specifications for additional information.
 - Light fixtures have been selected by Electrical with assistance from SWABACK - see Electrical drawings.

KEYNOTES

- REFINISH COLUMNS IN-KIND, REPAIRING ANY CRACKS OR DAMAGE AS NEEDED, FOR RESTORATION CONSISTENT WITH SEC. OF INTERIOR STANDARDS
- EXISTING MASONRY FLUE TO REMAIN
- JANITOR SINK PER PLUMBING
- LINOLEUM TILE FLOOR FINISH - SEE FINISH FLOOR PLAN, FINISH SCHEDULE AND SPECIFICATIONS
- NEW DOOR IN EXISTING DOORWAY WITH JAMB MODIFICATIONS AND NEW HARDWARE TO ALLOW 180 DEGREE OPENING - SEE DOOR SCHEDULE & DETAIL 1.01
- NEW INTERIOR STAIRS TO BE STEEL STRINGER, CONC. PAN TREAD, VERTICAL SQUARE STEEL BALUSTERS TO METAL RAIL WITH WOOD GUARDRAIL CAP SIM. TO EXISTING BEING REPLACED - SEE STRUCTURAL
- NEW 1.5" DIAMETER METAL HANDRAIL PER SPECIFICATIONS, 36" ABOVE TREAD NOSE
- PLASTER FINISH TO BE REPAIRED AND REFINISHED TO ORIGINAL CONDITION WITH IN-KIND/HISTORIC MATERIALS CONSISTENT WITH SEC. OF INT. STANDARDS. SEE GENERAL PLAN NOTES FOR OVERARCHING DESIGN INTENT AND THE FINISH FLOOR PLANS, FINISH SCHEDULES
- MECHANICAL EQUIPMENT - SEE MECHANICAL DRAWINGS 300
- MECHANICAL/ELECTRICAL SHAFT OPENING IN FLOOR OR CEILING - SEE MECHANICAL AND STRUCTURAL DRAWINGS
- 2-SIDED HYDRAULIC ELEVATOR WITH INTERMEDIATE LEVEL ACCESS - SEE SPECIFICATIONS, SECTIONS, AND DETAILS
- NEW WINDOW FROM SALVAGED ORIG. UNITS/PIECES TO MATCH EXISTING ORIG. SINGLE-PANE UNITS
- REPLACE WOOD WINDOW SILL & APRON IN-KIND TO ACCOMMODATE DEEPENED INTERIOR JAMB DEPTH DUE TO FURRING. MATCH ORIGINAL WOOD PROFILES, EXTENSIONS, FINISH DIMENSIONS
- WALL FURRING/RIGID INSUL. SYSTEM PER SPECIFICATIONS. SEE DIMENSION PLANS & WALL TYPES
- WASHERS AND DRYERS AS SPECIFIED - SEE M.P.E. DRAWINGS
- STAINLESS STEEL FOLDING TABLE
- SHEET FLOORING FINISH - SEE FINISH FLOOR PLAN, FINISH SCHEDULE AND SPECIFICATIONS
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM
- NEW 1.5" GYPCRETE TO EXISTING AND/OR NEW CONCRETE W/ 1/4" ACOUSTIC MAT ABOVE WHERE FINISHED WITH MARMOLEUM - SEE FINISH SCHEDULE 300
- NEW CANOPY ROOF - METAL C-CHANNEL FASCIA AND MEMBRAN ROOF OVER TAPERED RIGID OVER METAL DECKING
- VERTICAL FAN COIL UNIT CONCEALED IN CLOSET AS SHOWN - SEE MECHANICAL DRAWINGS
- AT CORRIDOR DOORWAY WALL INFILL, RECESS INFILL PLASTER FINISH ON CORRIDOR SIDE BY 1.5 INCHES FOR SHALLOW WALL RECESS, MAINTAINING ORIGINAL DOOR MASONRY JAMB & HEAD RETURNS WHERE INDICATED



1 UPPER LEVEL - NOTATION FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROJECT PHASE		
<input type="checkbox"/>	PRELIMINARY PRICING	06.03.21
<input type="checkbox"/>	OWNER - REVISED SCOPE	10.31.22
<input type="checkbox"/>	CD PROGRESS SET	05.18.23
<input type="checkbox"/>	ISSUE FOR BID	
<input checked="" type="checkbox"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

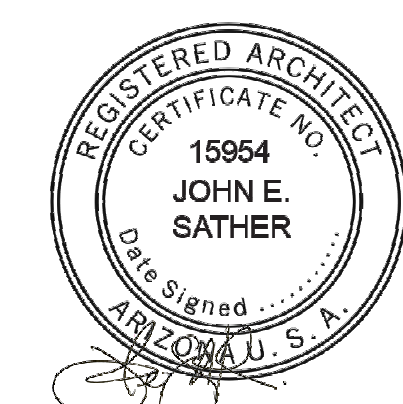
FORT APACHE - BUILDING #116 REHABILITATION
NON EDA SCOPE
 116 Geronimo Street, Fort Apache, AZ 85926
UPPER LEVEL - NOTATION FLOOR PLAN

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	As indicated
JOB NO.	2101
SHEET	A3.03

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.
 3/11/2024 9:54:48 PM



SWABACK
Architects + Planners
7550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



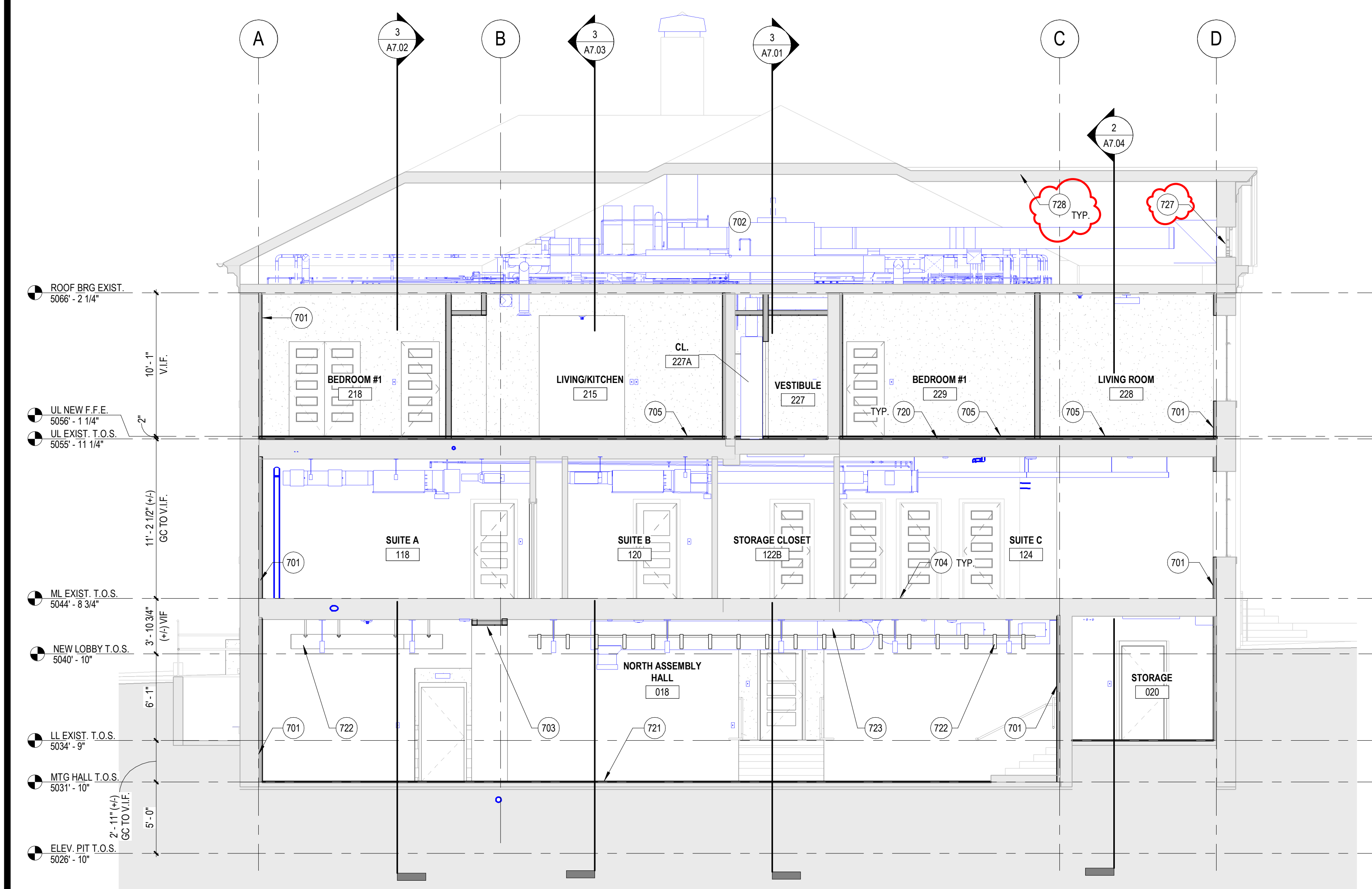
Expires 06/30/25

PROJECT PHASE	
<input type="radio"/>	PRELIMINARY PRICING 06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE 10.31.22
<input type="radio"/>	CD PROGRESS SET 05.18.23
<input type="radio"/>	ISSUE FOR BID
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION 03.13.24

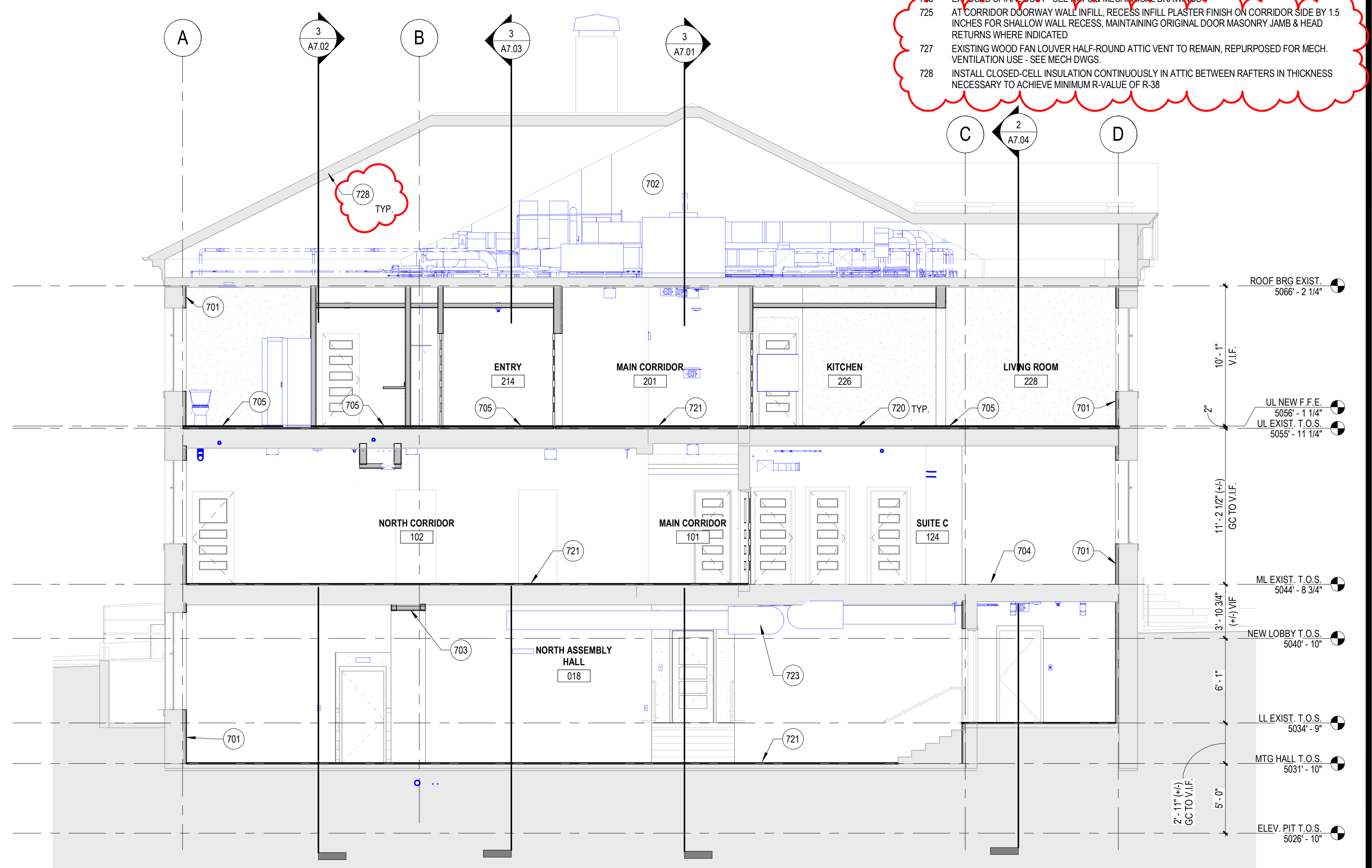
REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

KEYNOTES

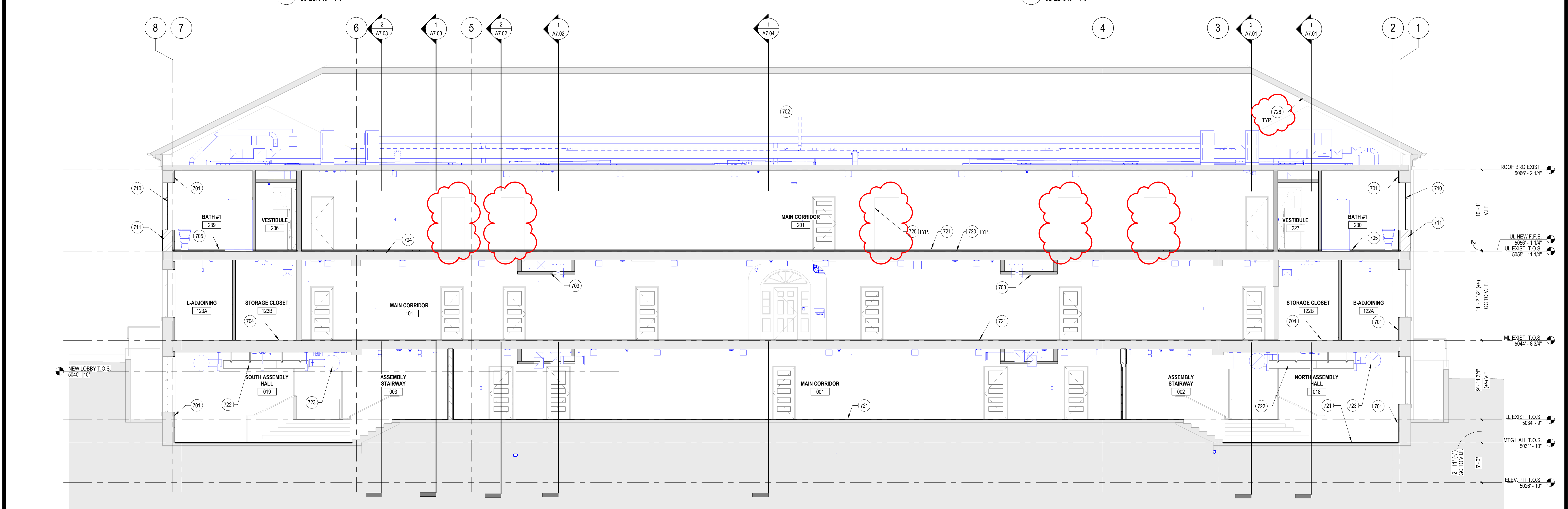
- 701 INSOFASTURRING AND INSULATION WITH GYPSUM BOARD FINISH OVER EXISTING WALL
- 702 ATTIC SPACE - EXISTING WOOD FRAMING NOT SHOWN, G.C. TO V.I.F.
- 703 NEW GYPSUM BOARD SOFFIT - SEE R.C.P. AND M.E.P. DRAWINGS
- 704 EXISTING CONCRETE FLOOR TO BE POLISHED & SEALED (AND IN SOME CASES STAINED) - SEE FINISH SCHEDULE
- 705 MARMOLEUM SHEET FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 710 INSTALL METAL WINDOW IN KIDTO MATCH EXISTING
- 711 REPLACE STONE SILL AND TOOTH-IN SUBSILL STONE AS NEEDED - MATCH EXISTING
- 720 1.5" GYPCRETE ON CONCRETE W/ 1/4" ACCOUSTIMAT ABOVE WHERE FINISHED WITH MARMOLEUM - SEE FINISH SCHEDULE
- 721 MARMOLEUM TILE FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 722 SUSPENDED ACOUSTIC BAFFLE SYSTEM SPECIFICATIONS
- 723 EXPOSED SPIRALS - SEE M.E.P. MECHANICAL DRAWINGS
- 725 AT CORRIDOR DOORWAY WALL INFILL, RECESS INFILL PLASTER FINISH ON CORRIDOR SIDE BY 1.5 INCHES FOR SHALLOW WALL RECESS, MAINTAINING ORIGINAL DOOR MASONRY JAMB & HEAD RETURNING WHERE INDICATED
- 727 EXISTING WOOD FAN LOUVER HALF-ROUND ATTIC VENT TO REMAIN, REPURPOSED FOR MECH. VENTILATION USE - SEE MECH DWGS.
- 728 INSTALL CLOSED-CELL INSULATION CONTINUOUSLY IN ATTIC BETWEEN RAFTERS IN THICKNESS NECESSARY TO ACHIEVE MINIMUM R-VALUE OF R-38



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, INC.

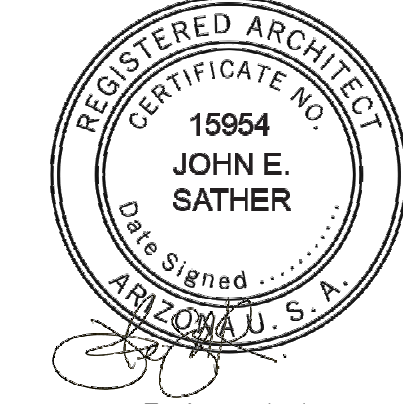
FORT APACHE - BUILDING #116 REHABILITATION
116 Geronimo Street, Fort Apache, AZ 85926
MIXED EDA SCOPE
BUILDING SECTIONS

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A7.01

3/11/2024 4:43:17 PM

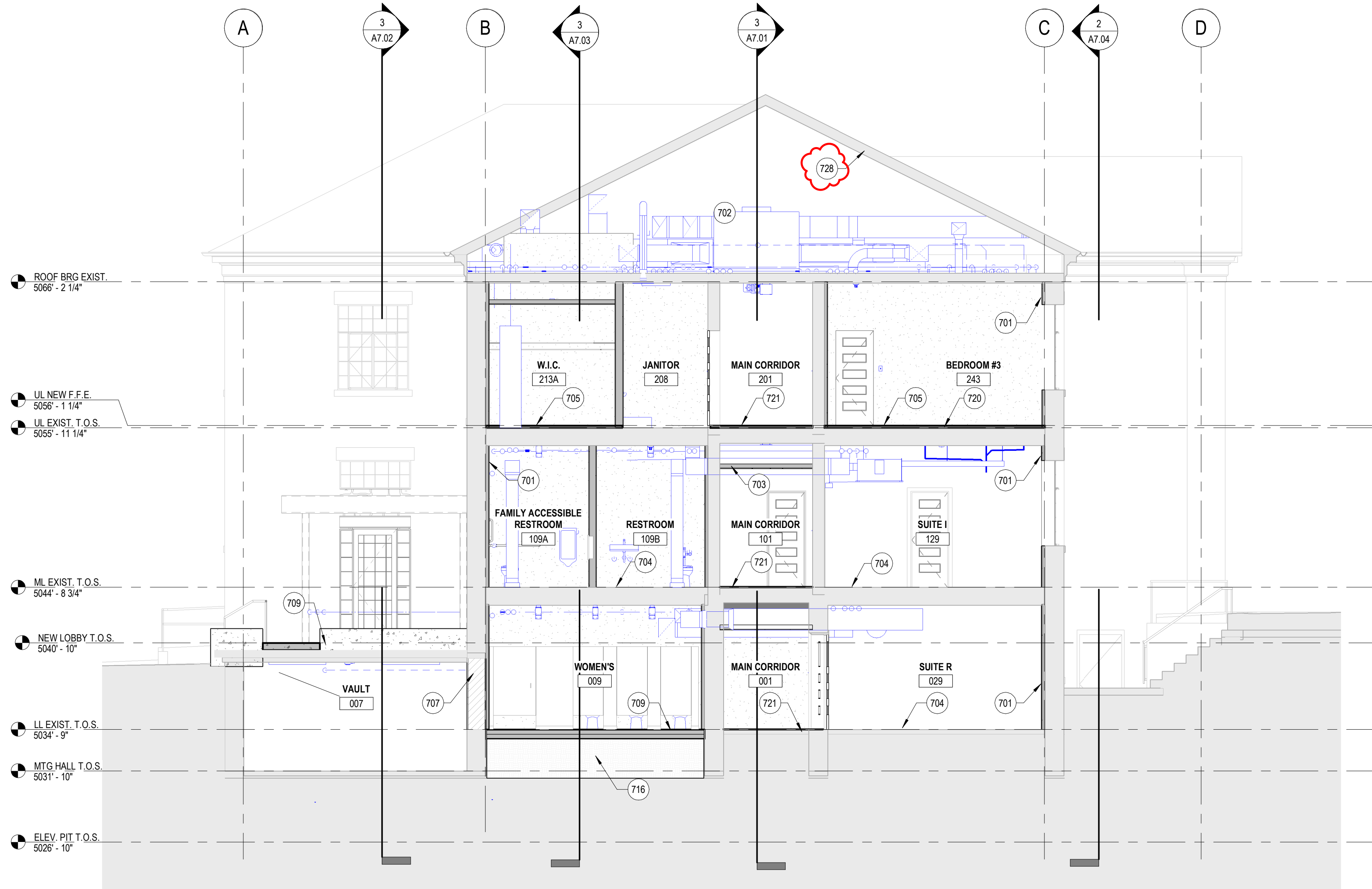


SWABACK
Architects + Planners
7550 E. McDowell Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com

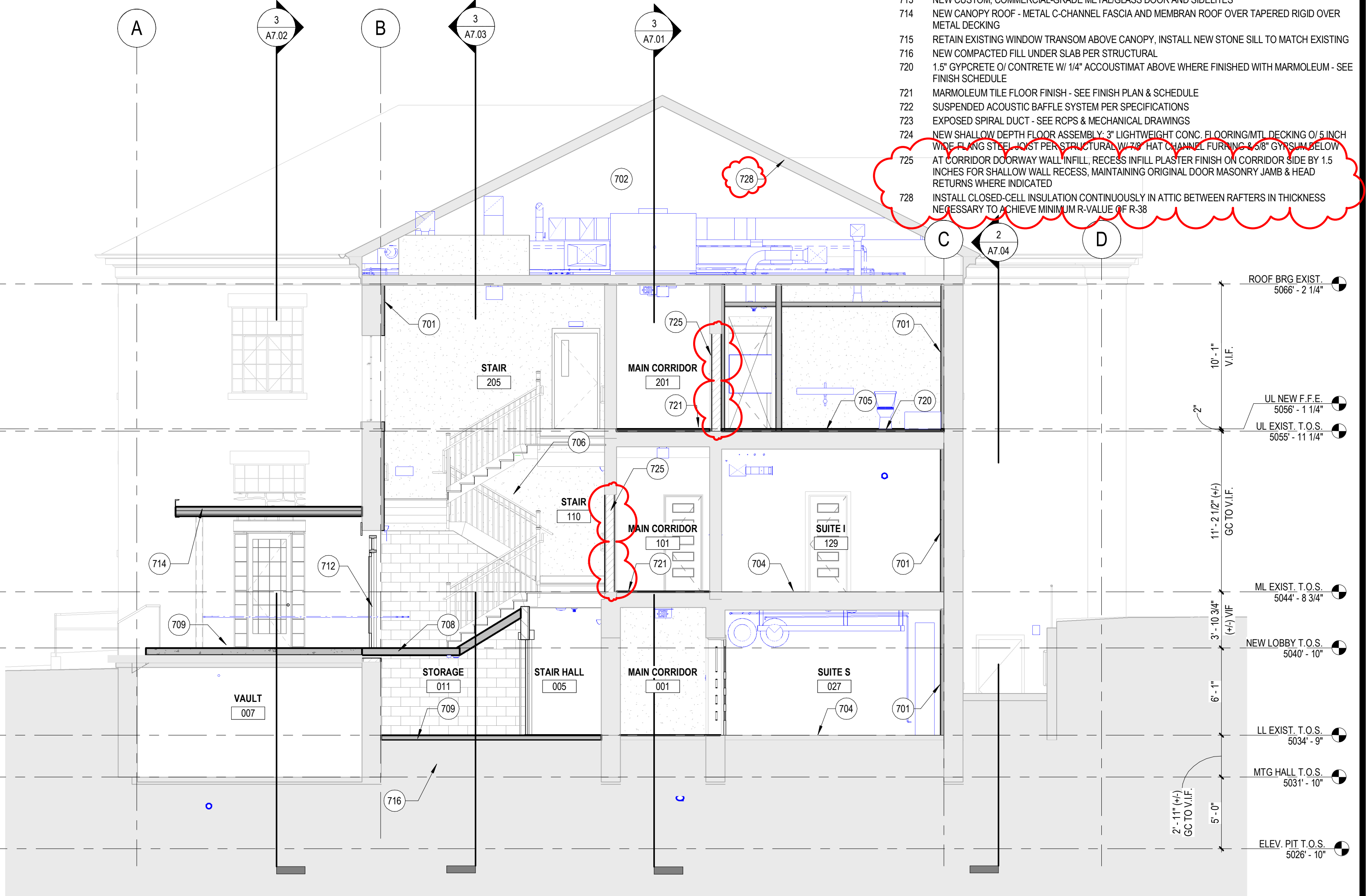


KEYNOTES

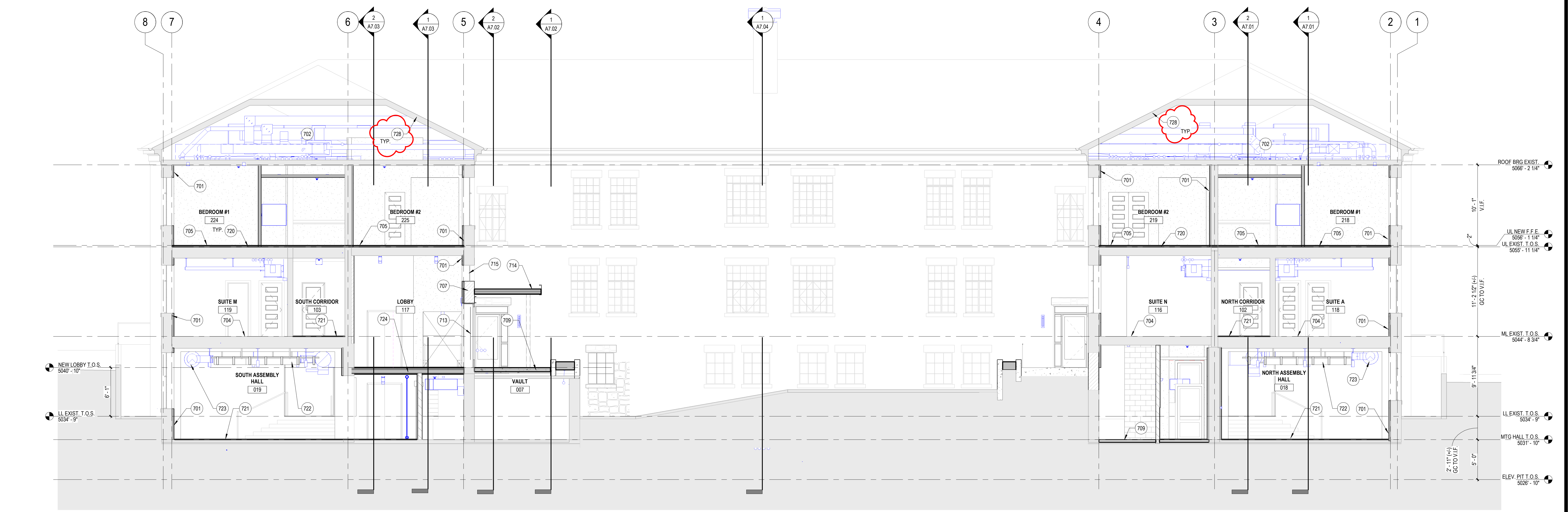
- 701 INSOFASTURRING AND INSULATION WITH GYPSUM BOARD FINISH OVER EXISTING WALL
- 702 ATTIC SPACE - EXISTING WOOD FRAMING NOT SHOWN, G.C. TO V.I.F.
- 703 NEW GYPSUM BOARD SOFFIT - SEE R.C.P. AND M.E.P. DRAWINGS
- 704 EXISTING CONCRETE FLOOR TO BE POLISHED & SEALED (AND IN SOME CASES STAINED) - SEE FINISH SCHEDULE
- 705 MARMOLEUM SHEET FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 706 NEW STEEL PAN STAR WITH CONCRETE STEPS STAIR WITH BALUSTRADE AND RAILING STYLE TO MATCH ORIGINAL
- 707 MASONRY INFILL OF EXISTING OPENING - SEAMLESSLY PATCH ALL FINISHES
- 708 NEW FLOOR ASSEMBLY - SEE STRUCTURAL DRAWINGS
- 709 NEW CONCRETE SLAB-ON-GRADE - SEE STRUCTURAL DRAWINGS
- 710 NEW COMMERCIAL-GRADE EXIT DOOR WITH METAL FRAME, SIDELITE AND TRANSOM IN EXISTING MASONRY OPENING
- 711 NEW CUSTOM COMMERCIAL-GRADE METAL GLASS DOOR AND SIDELITES
- 712 NEW CANOPY ROOF - METAL C-CHANNEL FASCIA AND MEMBRAN ROOF OVER TAPERED RIGID OVER METAL DECKING
- 713 RETAIN EXISTING WINDOW TRANSOM ABOVE CANOPY. INSTALL NEW STONE SILL TO MATCH EXISTING
- 714 NEW COMPACTED FILL UNDER SLAB PER STRUCTURAL
- 715 1.5" CONCRETE ON CONCRETE W/ 1/4" ACCOUSTIMAT ABOVE WHERE FINISHED WITH MARMOLEUM - SEE FINISH SCHEDULE
- 716 MARMOLEUM TILE FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 717 SUSPENDED ACOUSTIC BAFFLE SYSTEM PER SPECIFICATIONS
- 718 EXPOSED SPIRAL DUCT - SEE RCPS & MECHANICAL DRAWINGS
- 719 NEW SHALLOW DEPTH FLOOR ASSEMBLY OF LIGHTWEIGHT CONC. FLOORING, 1/2" DECKING OF 1/2" CONC. OVER 2" PER STRUCTURAL WITH 1/2" DYNAMIC FURNACE-DRY ORGANIC FIBER INSULATION AT CORRIDOR DOORWAY WALL INFILL, RECESS INFILL PLASTER FINISH ON CORRIDOR SIDE BY 1.5 INCHES FOR SHALLOW WALL RECESS, MAINTAINING ORIGINAL DOOR MASONRY JAMB & HEAD RETURNS WHERE INDICATED
- 720 INSTALL CLOSED-CELL INSULATION CONTINUOUSLY IN ATTIC BETWEEN RAFTERS IN THICKNESS NECESSARY TO ACHIEVE MINIMUM R-VALUE OF R-38



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"

PROJECT PHASE

<input type="checkbox"/>	PRELIMINARY PRICING	06.03.21
<input type="checkbox"/>	OWNER - REVISED SCOPE	10.31.22
<input type="checkbox"/>	CD PROGRESS SET	05.18.23
<input type="checkbox"/>	ISSUE FOR BID	
<input checked="" type="checkbox"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

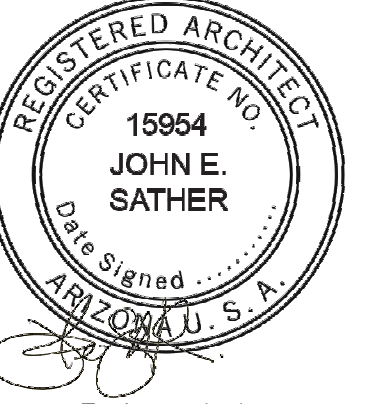
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE - BUILDING #116 REHABILITATION
MIXED EDA SCOPE
116 Geronimo Street, Fort Apache, AZ 85926
BUILDING SECTIONS

DRAWN STAFF
CHECKED KG
DATE 03.13.2024
SCALE 3/16" = 1'-0"
JOB NO. 2101
SHEET **A7.02**

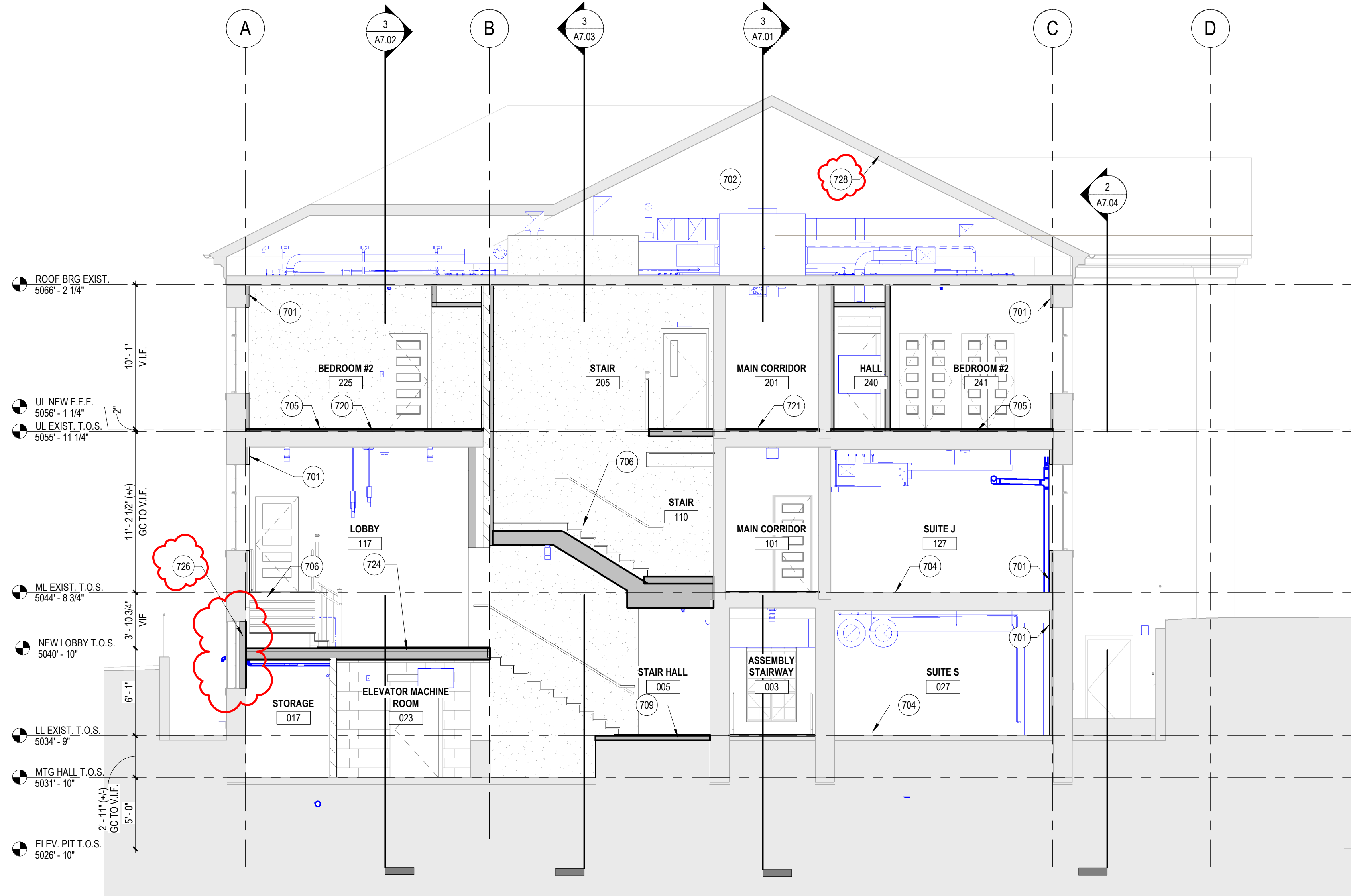


SWABACK
Architects + Planners
7550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com

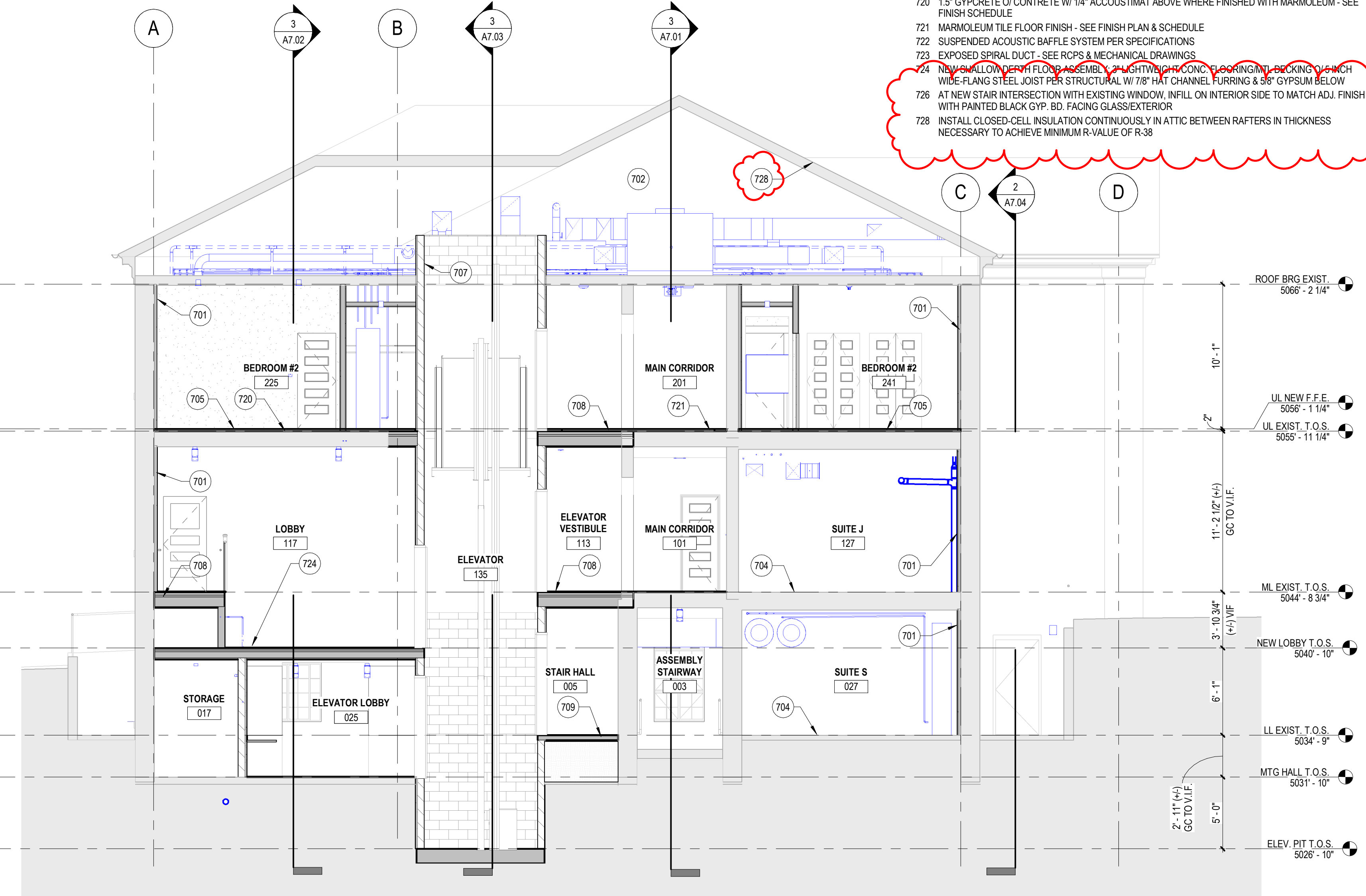


KEYNOTES

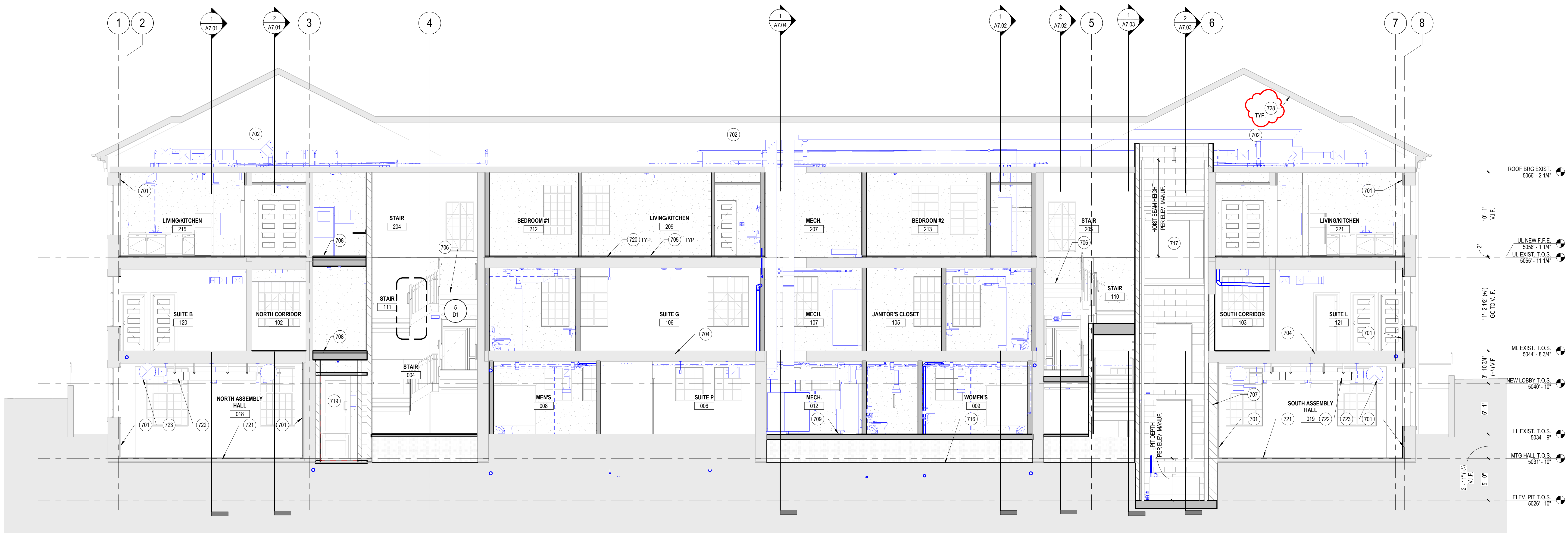
- 701 INSOFAST FURRING AND INSULATION WITH GYPSUM BOARD FINISH OVER EXISTING WALL
- 702 ATTIC SPACE - EXISTING WOOD FRAMING NOT SHOWN, G.C. TO V.I.F.
- 704 EXISTING CONCRETE FLOOR TO BE POLISHED & SEALED (AND IN SOME CASES STAINED) - SEE FINISH SCHEDULE
- 705 MARMOLEUM SHEET FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 706 NEW STEEL PAN STAIR WITH CONCRETE STEPS STAIR WITH BALUSTRADE AND RAILING STYLE TO MATCH ORIGINAL
- 707 MASONRY INFILL OF EXISTING OPENING - SEAMLESSLY PATCH ALL FINISHES
- 708 NEW FLOOR ASSEMBLY - SEE STRUCTURAL DRAWINGS
- 709 NEW CONCRETE SLAB-ON-GRADE - SEE STRUCTURAL DRAWINGS
- 716 NEW COMPACTED FILL UNDER SLAB PER STRUCTURAL
- 717 5-STOP FRONT AND BACK ENTRY HYDRAULIC ELEVATOR, SHAFT, PIT AND ASSOCIATED EQUIPMENT
- 719 ADA PLATFORM LIFT, SHAFT AND ASSOCIATED EQUIPMENT
- 720 1.5" GYPCRETE OR CONCRETE W/ 1/4" ACCOUSTMAT ABOVE WHERE FINISHED WITH MARMOLEUM - SEE FINISH SCHEDULE
- 721 MARMOLEUM TILE FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 722 SUSPENDED ACOUSTIC BAFFLE SYSTEM PER SPECIFICATIONS
- 723 EXPOSED SPIRAL DUCT - SEE RCPS & MECHANICAL DRAWINGS
- 724 NEW SHALLOW DEPTH FLOOR ASSEMBLY WITH W/ 1/4" CONCRETE, 1/2" GYP BOARD, 1/2" W/ 1/4" WIDE FLANG STEEL JOIST PER STRUCTURAL W/ 7/8" HAT CHANNEL, FURRING & 3/8" GYPSUM BELOW
- 726 AT NEW STAIR INTERSECTION WITH EXISTING WINDOW, INFILL ON INTERIOR SIDE TO MATCH ADJ. FINISH WITH PAINTED BLACK GYP. BD. FACING GLASS EXTERIOR
- 728 INSTALL CLOSED-CELL INSULATION CONTINUOUSLY IN ATTIC BETWEEN RAFTERS IN THICKNESS NECESSARY TO ACHIEVE MINIMUM R-VALUE OF R-38



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"

PROJECT PHASE

<input type="radio"/>	PRELIMINARY PRICING	06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE	10.31.22
<input type="radio"/>	CD PROGRESS SET	05.18.23
<input type="radio"/>	ISSUE FOR BID	
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE - BUILDING #116 REHABILITATION
116 Geronimo Street, Fort Apache, AZ 85926
MIXED EDA SCOPE
BUILDING SECTIONS

DRAWN STAFF
CHECKED KG
DATE 03.13.2024
SCALE 3/16" = 1'-0"
JOB NO. 2101
SHEET **A7.03**

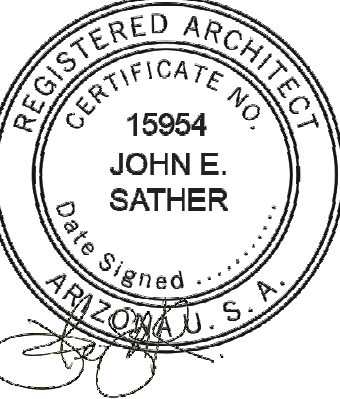
COPYRIGHT © 2021 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.

3/11/2024 4:54:51 PM



SWABACK

Architects + Planners
2550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



Expires 06/30/25

PROJECT PHASE

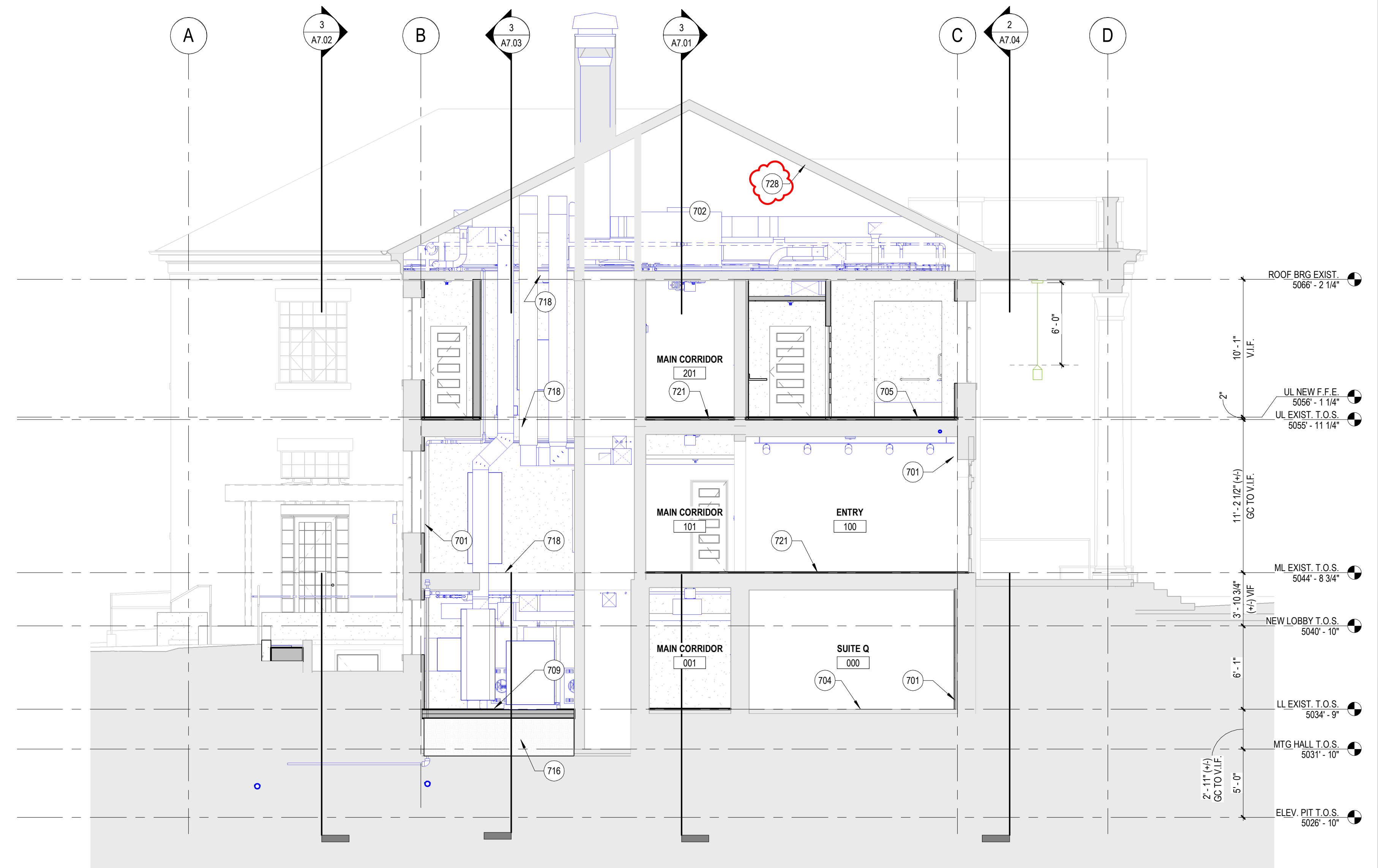
<input type="checkbox"/>	PRELIMINARY PRICING	06.03.21
<input type="checkbox"/>	OWNER - REVISED SCOPE	10.31.22
<input type="checkbox"/>	CD PROGRESS SET	05.18.23
<input type="checkbox"/>	ISSUE FOR BID	
<input checked="" type="checkbox"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

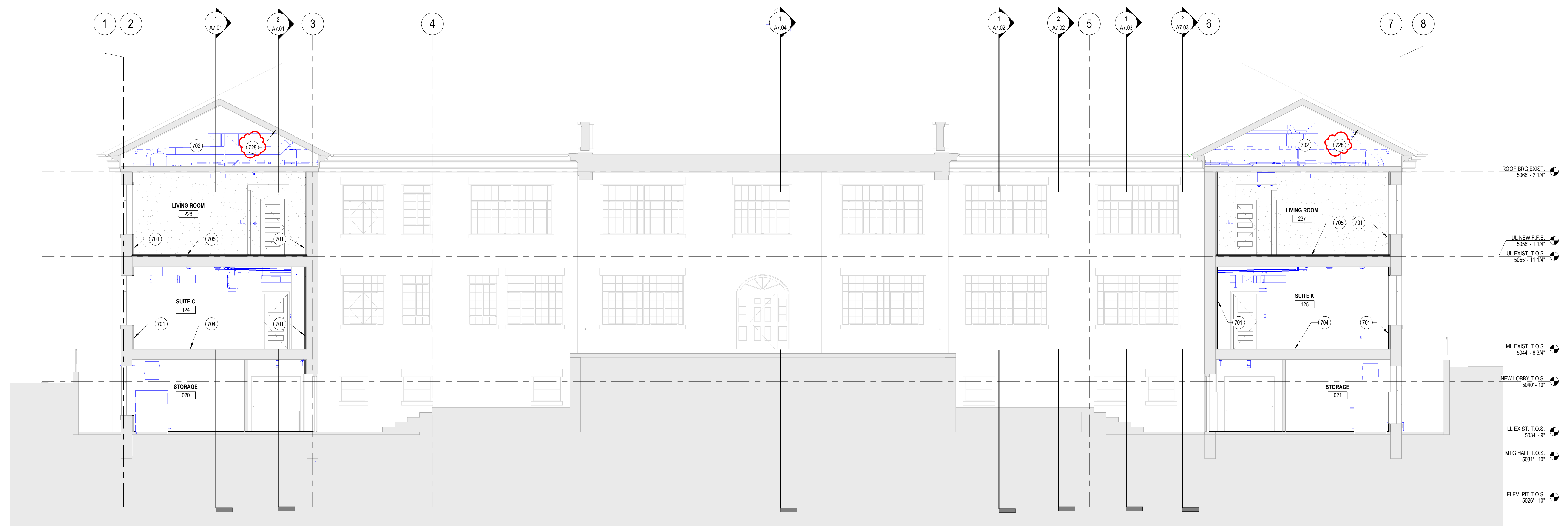
NO.	DESCRIPTION	DATE
2	MPE Revisions - Internal GC	03.13.2024

KEYNOTES

- 701 INSOFASFURRING AND INSULATION WITH GYPSUM BOARD FINISH OVER EXISTING WALL
- 702 ATTIC SPACE - EXISTING WOOD FRAMING NOT SHOWN, G.C. TO V.I.F.
- 704 EXISTING CONCRETE FLOOR TO BE POLISHED & SEALED (AND IN SOME CASES STAINED); SEE FINISH SCHEDULE
- 705 MARMOLEUM SHEET FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 709 NEW CONCRETE SLAB ON GRADE - SEE STRUCTURAL DRAWINGS
- 716 NEW COMPACTED FILL UNDER SLAB PER STRUCTURAL
- 718 NEW VERTICAL CHASE IN EXISTING FLOOR/CEILING - SEE R.C.P., STRUCTURAL AND M.E.P. DRAWINGS
- 721 MARMOLEUM TILE FLOOR FINISH - SEE FINISH PLAN & SCHEDULE
- 728 INSTALL CLOSED-CELL INSULATION CONTINUOUSLY IN ATTIC BETWEEN RAFTERS IN THICKNESS NECESSARY TO ACHIEVE MINIMUM R-VALUE OF R-38



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"

FORT APACHE - BUILDING #116 REHABILITATION

116 Geronimo Street, Fort Apache, AZ 85926

MIXED EDA SCOPE

BUILDING SECTIONS

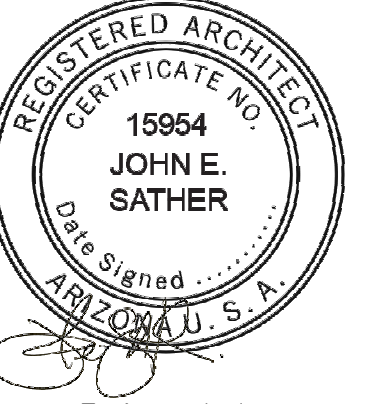
DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A7.04

COPYRIGHT © 2024 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.

3/11/2024 5:02:16 PM



SWABACK
Architects + Planners
7550 E. McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com



KEYNOTES

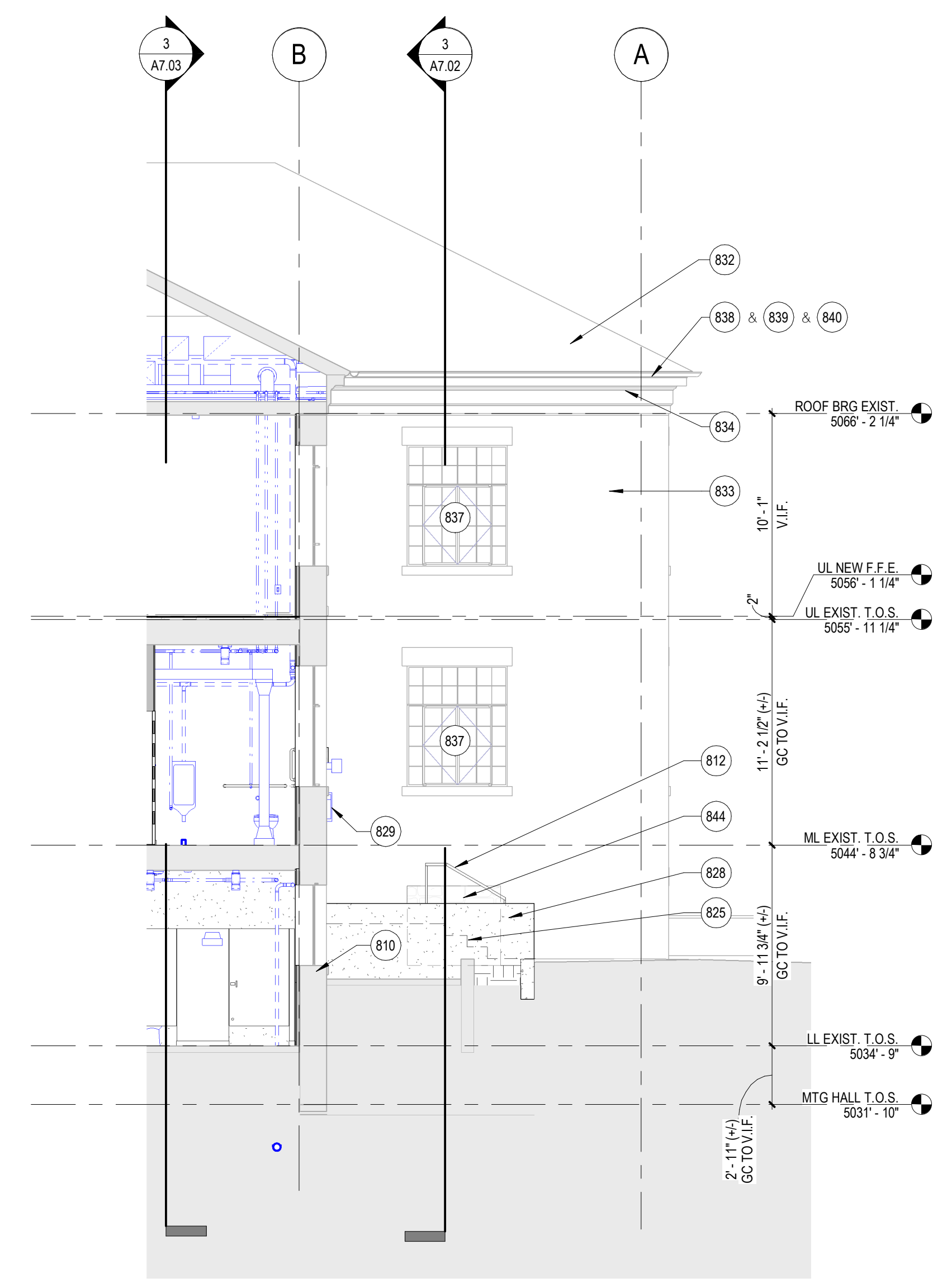
- 810 REPLACE SPALLED/DETERIORATED STONE SILL IN KIND TO MATCH EXISTING
- 811 REPLACE STONE SILL AND TOOTH-IN SUBSILL STONE WITH MATCHING DRESSED STONE TOOTHED-IN IN RANDOM ASHLAR HISTORIC PATTERN
- 812 NEW 1.5" DIAMETER METAL HANDRAIL PER SPECIFICATIONS, 36" ABOVE TREAD NOSE
- 821 NEW WINDOW FROM SALVAGED ORIG. UNITS/PIECES TO MATCH EXISTING ORIG. SINGLE-PANE UNITS
- 825 NEW CONCRETE EXTERIOR TERRACE FLOOR AND STAIR TREADS, BRUSHED FINISH. SEE STRUCTURAL
- 826 EXISTING CONCRETE SITE WALL AND/OR WINDOW WELL TO REMAIN - REPAIR AND REFINISH AS NEEDED TO RESTORE CONDITION
- 828 NEW PLANTER/SOIL BED - PLANTS BY OWNER
- 829 EXTERIOR LIGHT PER ELECTRICAL
- 830 REPAIR EXTERIOR CONCRETE FLOOR, SLAB EDGE, STAIR EDGE, OR SITE WALL AS NEEDED TO RESTORE TO ORIGINAL CONDITION
- 831 GC TO REPAIR & REPLACE WINDOW WELL DRAINAGE SYSTEMS, PIPING AS NEEDED TO RESTORE PROPER FUNCTION - SEE GENERAL DRAINAGE REPAIR NOTE
- 832 EXISTING ASHLAR SHINGLE ROOFING TO REMAIN, IF NEED ARISES, REPAIR BY TOOTHING-IN REPLACEMENT SHINGLES TO MATCH EXISTING
- 833 EXISTING STONE TO REMAIN. PATCH ANY LARGE HOLES FROM REMOVAL OF ORIGINAL M.P.E. SYSTEMS WITH MATCHING STONE TOOTHED-IN IN RANDOM ASHLAR HISTORIC PATTERN
- 834 PAINT EXISTING WOOD CORNICE, BALUSTRADE, AND/OR OTHER DECORATIVE WOOD TRIM WHITE TO MATCH ORIGINAL FINISH
- 835 PRESERVE EXISTING CHIMNEY AND METAL CAP - PROTECT AS NEEDED DURING CONSTRUCTION
- 837 EXISTING METAL WINDOWS TO BE PRESERVED/RECONDITIONED. REPLACE MISSING/BROKEN PANEES. RESTORE OPERABILITY TO CASEMENT VIA SALVAGED PARTS
- 838 EXISTING METAL HALF-ROUND COPPER GUTTERS TO REMAIN. GC TO REPAIR AND/OR REPLACE ANY DAMAGED SECTIONS IN KIND AS NEEDED
- 839 REPAIR EXISTING COPPER GUTTER DOWNSPOUTS & ATTACHMENTS, REPLACING ANY NON-COPPER SECTIONS WITH COPPER TO MATCH ORIGINAL
- 840 GC TO REPLACE IN-GROUND METAL DOWNSPOUT PIPING AND REPAIR DRAINAGE SYSTEM AS NEEDED TO RESTORE PROPER DRAINAGE SYSTEM FUNCTIONALITY
- 842 EXISTING GUARDRAIL TO REMAIN. REPAIR & REFINISH AS NEEDED TO RESTORE TO ORIGINAL CONDITION
- 843 REFINISH COLUMNS IN-KIND, REPAIRING ANY CRACKS OR DAMAGE AS NEEDED, FOR RESTORATION CONSISTENT WITH SEC. OF INTERIOR STANDARDS
- 844 EXISTING WINDOW OPENINGS INFILL WITH IN-KIND STONE TO MATCH ORIGINAL TOOTH-IN FOR BUSINESS TRADING
- 857 EXISTING WOOD FAN LOUVER HALF-ROUND ATTIC VENT TO REMAIN. REPURPOSED FOR MECH. VENTILATION USE - SEE MECH DWGS.

PROJECT PHASE

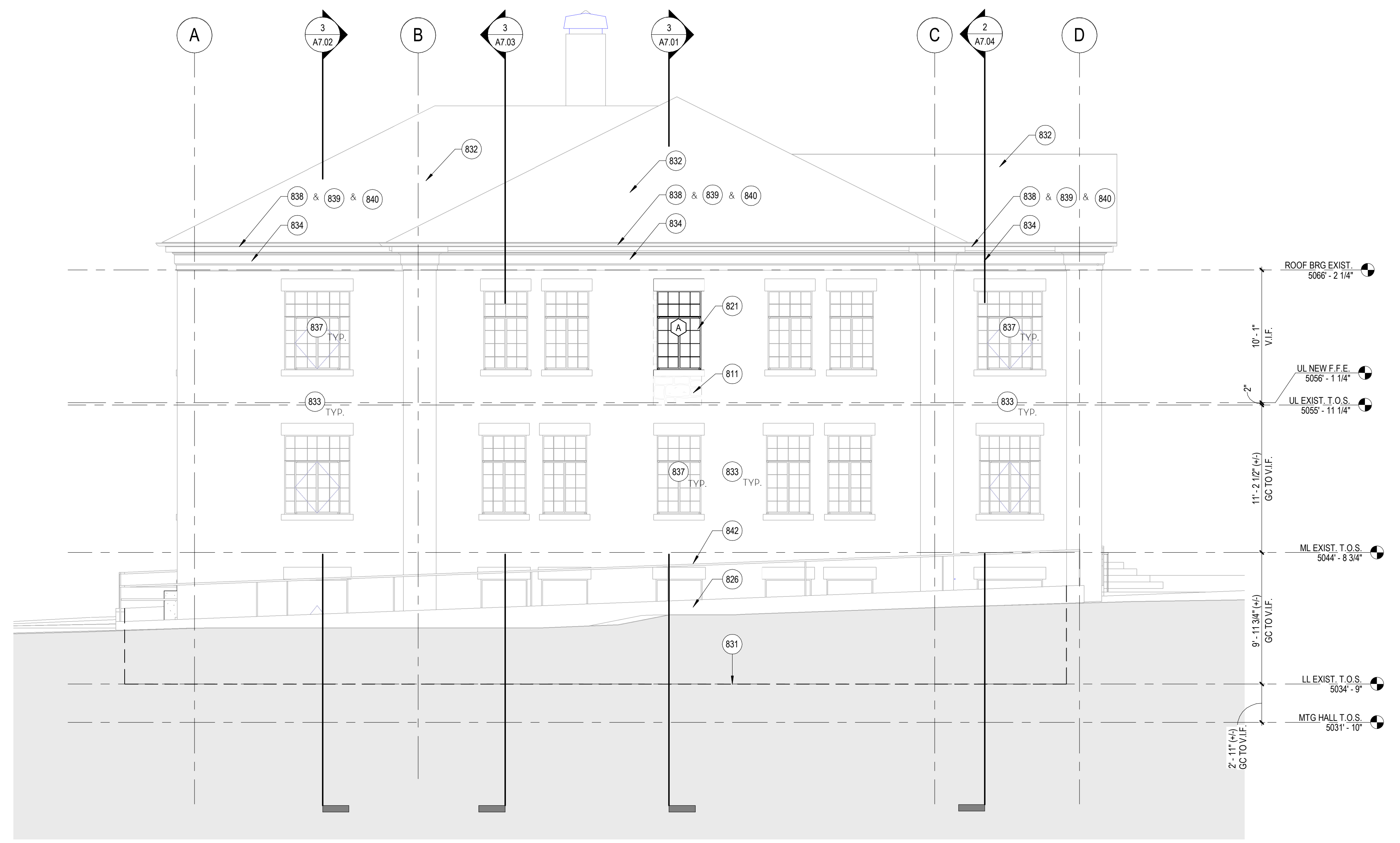
<input type="radio"/>	PRELIMINARY PRICING	06.03.21
<input type="radio"/>	OWNER - REVISED SCOPE	10.31.22
<input type="radio"/>	CD PROGRESS SET	05.18.23
<input type="radio"/>	ISSUE FOR BID	
<input checked="" type="radio"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS

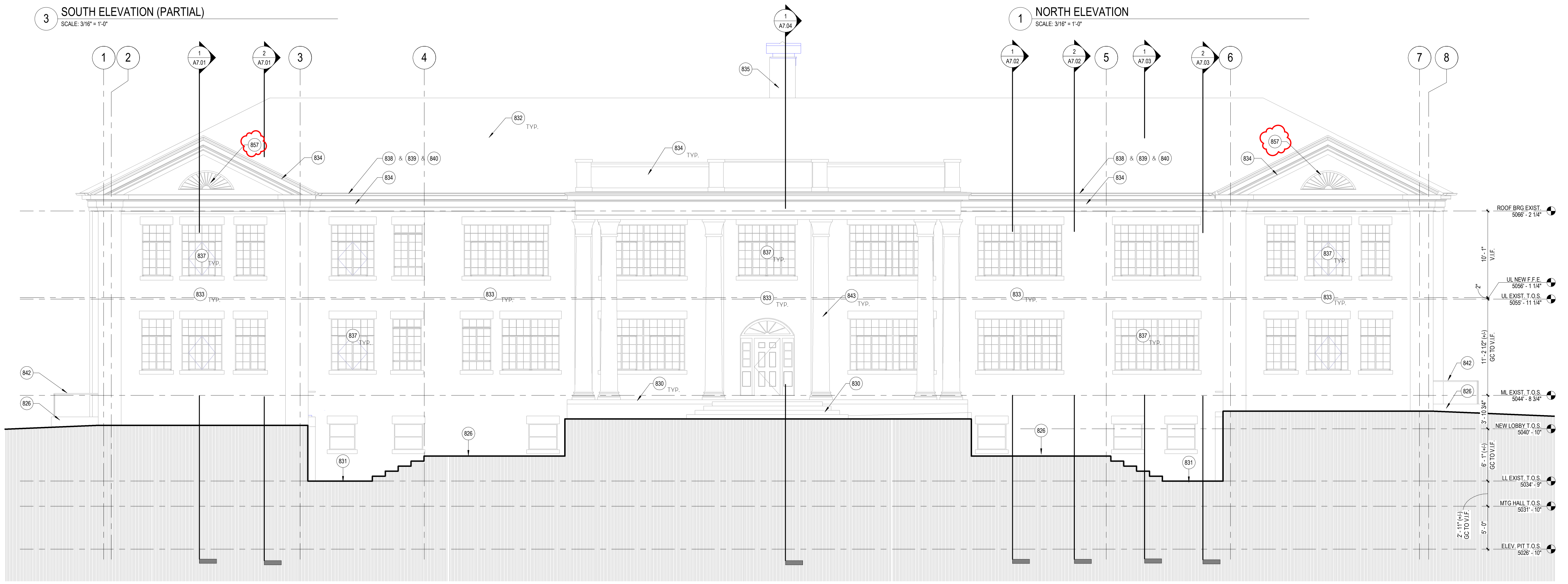
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023



3 SOUTH ELEVATION (PARTIAL)
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

FORT APACHE - BUILDING #116 REHABILITATION

EDA SCOPE

116 Geronimo Street, Fort Apache, AZ 85926

EXTERIOR ELEVATIONS

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	3/16" = 1'-0"
JOB NO.	2101
SHEET	A8.04

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS P.C.

3/12/2024 9:56:50 AM

WALL TYPE SCHEDULE

TYPE	DESCRIPTION	SECTION	DESCRIPTION
A1 _e	EXISTING PLASTER FINISH WALLS OF METAL LATHE O/ 2X4 WOOD FRAMING - BOTH SIDES		
A1 _n	PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
A2 _n	CONT. 5/8" GYP. BD. SHEATHING OVER 2X6 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED		PLASTER FINISH COAT <i>new plaster finish text here</i>
A3 _n	PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
A4 _n	(1) LAYER OF 5/8" TYPE 'X' GYP. BD. OVER 2X6 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED; AS SPECIFIED ONE HOUR RATED ASSEMBLY UL DESIGN NO.: U305		(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 1/2" GALVANIZED STEEL RESILIENT CHANNELS SPACED VERTICALLY @24" O.C. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
B	CONT. 5/8" GYP. BD. SHEATHING OVER 2X4 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED		
B1	*NOTE: B1 - NO GWB NEEDED FOR CAVITY SPACE *NOTE: CEMENT BOARD @ ALL WET AREAS - BATHROOM SIDE WHERE OCCURS		
B2	CONT. 5/8" GYP. BD. SHEATHING OVER 2X6 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED *NOTE: CEMENT BOARD @ ALL WET AREAS - BATHROOM SIDE WHERE OCCURS		
B3	(1) LAYER OF 5/8" TYPE 'X' GYP. BD. OVER 2X6 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED; AS SPECIFIED ONE HOUR RATED ASSEMBLY UL DESIGN NO.: U305 *NOTE: CEMENT BOARD @ ALL WET AREAS - BATHROOM SIDE WHERE OCCURS		(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 1/2" GALVANIZED STEEL RESILIENT CHANNELS SPACED VERTICALLY @24" O.C.

WALL TYPE SCHEDULE

TYPE	DESCRIPTION	SECTION	DESCRIPTION
B4	(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ RC-1 ON ONE SIDE PER PLAN O/ 2X4 STAGGERED (2X6 PLATE) W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED ONE HOUR RATED ASSEMBLY UL DESIGN NO.: U340		(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 1/2" GALVANIZED STEEL RESILIENT CHANNELS SPACED VERTICALLY @24" O.C.
B5	CONT. 5/8" GYP. BD. SHEATHING OVER 2X8 WOOD FRAMING W/ SOUND ATTENUATION BATT INSULATION; AS SPECIFIED *NOTE: CEMENT BOARD @ ALL WET AREAS - BATHROOM SIDE WHERE OCCURS		
C1	NOMINAL 6X8X16 CMU WALL, SOLID GROUT CORES; REINFORCE PER STRUCTURAL PRIME AND PAINT EXPOSED BLOCK FACES AT ALL BACK-OF-HOUSE LOCATIONS TWO HOUR FIRE RATED ASSEMBLY ASTM C-90 64% SOLID MATERIAL		(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 7/8" GALVANIZED STEEL HAT CHANNELS SPACED VERTICALLY @24" O.C.
C2	(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 7/8" GALVANIZED STEEL HAT CHANNELS SPACED VERTICALLY @24" O.C. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		
C3	NOMINAL 6X8X16 CMU WALL, SOLID GROUT CORES; REINFORCE PER STRUCTURAL PRIME AND PAINT EXPOSED BLOCK FACES AT ALL BACK-OF-HOUSE LOCATIONS TWO HOUR FIRE RATED ASSEMBLY ASTM C-90 64% SOLID MATERIAL		(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 7/8" GALVANIZED STEEL HAT CHANNELS SPACED VERTICALLY @24" O.C. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
C4	(1) LAYER OF 5/8" TYPE 'X' GYP. BD. O/ (1) LAYER OF 7/8" GALVANIZED STEEL HAT CHANNELS SPACED VERTICALLY @24" O.C. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		
C6	NOMINAL 6X8X16 CMU WALL, SOLID GROUT CORES; REINFORCE PER STRUCTURAL PRIME AND PAINT EXPOSED BLOCK FACES AT ALL BACK-OF-HOUSE LOCATIONS TWO HOUR FIRE RATED ASSEMBLY ASTM C-90 64% SOLID MATERIAL		
C8	(2) WYTHES - NOMINAL 6X8X16 CMU WALL, SOLID GROUT CORES; VERTICAL AND HORIZONTAL REINFORCE PER STRUCTURAL PRIME AND PAINT EXPOSED BLOCK FACES AT ALL BACK-OF-HOUSE LOCATIONS FIRE RATED (EXCEEDS 1-HR REQUIRED)		

WALL TYPE SCHEDULE

TYPE	DESCRIPTION	SECTION	DESCRIPTION
D1	CONTINUOUSLY ADHERE 2 INCH "InSeFast" ENGINEERED INSULATION SYSTEM TO FACE OF EXISTING MASONRY WALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.		CONT. 5/8" GYP. BD. SHEATHING FASTENED TO RIGID INSULATION FURRING VIA INTEGRAL NAILING FLANGES PER MANUF. REQUIREMENTS. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
D2	CONT. 5/8" GYP. BD. SHEATHING FASTENED TO RIGID INSULATION FURRING VIA INTEGRAL NAILING FLANGES PER MANUF. REQUIREMENTS.		
F1	EXISTING TO REMAIN		CONT. 5/8" GYP. BD. SHEATHING OVER 2X4 WOOD FURRING WALL ERRECTED ADJACENT TO EXISTING WALL TO REMAIN.
F2	EXISTING TO REMAIN		CONT. 5/8" GYP. BD. SHEATHING OVER 2-1/2" METAL STUD WALL ERRECTED ADJACENT TO EXISTING WALL TO REMAIN. PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION FIRE RATED ASSEMBLY ASTM C-90 64% SOLID MATERIAL
M1 _e	EXISTING PLASTER FINISH WALLS OVER BROWNCOAT OVER STONE WALL		
M1 _n	PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		NEW STONE INFILL TO MATCH EXISTING STONE IN TYPE, COLOR, TEXTURE, GROUTING, ASHLAR PATTERN. TOOTH-IN WITH ADJ. EXISTING STONE FOR SEAMLESS PATCH CONSISTANT W/ SEC. OF INTERIOR STANDARDS FOR REHABILITATION
M2 _e	EXISTING PLASTER FINISH WALLS OVER BROWNCOAT OVER STONE AND/OR TERRACOTTA MASONRY WALL		
M2 _n	MASONRY INFILL WITH LIKE MATERIALS PER STRUCTURAL DETAILS PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		CORRIDOR DOORWAY INFILL NOTE: AT CORRIDOR DOORWAY WALL INFILL, RECESS INFILL PLASTER FINISH ON CORRIDOR SIDE BY 1.5 INCHES FOR SHALLOW WALL RECESS, MAINTAINING ORIG. DOOR MASONRY JAMB & HEAD RETURNS WHERE INDICATED PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION
M3 _e	EXISTING PLASTER FINISH WALLS OVER BROWNCOAT OVER STONE AND/OR TERRACOTTA MASONRY WALL		
M3 _n	MASONRY INFILL WITH LIKE MATERIALS PER STRUCTURAL DETAILS PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION		PLASTER FINISH COAT NEW PLASTER FINISH TO MATCH ORIGINAL IN MATERIALS, APPLICATION AND EXPRESSION PER SPECIFICATIONS FOR PATCHING, REPLACING, AND/OR REPRODUCING THE ORIGINAL FINISH PER SEC. OF INTERIOR STANDARDS FOR REHABILITATION



PROJECT PHASE		
<input type="checkbox"/>	PRELIMINARY PRICING	06.03.21
<input type="checkbox"/>	OWNER - REVISED SCOPE	10.31.22
<input type="checkbox"/>	CD PROGRESS SET	05.18.23
<input type="checkbox"/>	ISSUE FOR BID	
<input checked="" type="checkbox"/>	ISSUE FOR CONSTRUCTION	03.13.23

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHPO Comment Responses	12.28.2023

FORT APACHE -BUILDING #116 REHABILITATION
MIXED EDA SCOPE
 116 Geronimo Street, Fort Apache, AZ 85926
WALL TYPES / ASSEMBLIES

DRAWN	STAFF
CHECKED	KG
DATE	03.13.2024
SCALE	1/2" = 1'-0"
JOB NO.	2101
SHEET	A10.1

COPYRIGHT © 2021 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWABACK ARCHITECTS + PLANNERS, P.C.

3/11/2024 5:03:18 PM